
**CITY COUNCIL CHAMBERS
11465 W CIVIC CENTER DRIVE
AVONDALE, AZ 85323**

**Thursday, January 18, 2018
6:00 P.M.**

I. CALL TO ORDER

II. ROLL CALL

III. OPENING STATEMENT

IV. APPROVAL OF MINUTES

- **December 21, 2017**

V. SCHEDULED PUBLIC APPEARANCES

VI. WITHDRAWALS AND CONTINUANCES:

VII. PUBLIC HEARING ITEMS:

1. PL-17-0209 – RV & Self-Storage Facility Rezone

This is a hearing before the Planning Commission to review application PL-17-0209, a request to rezone approximately 7.71 acres on the north side of Lower Buckeye Road, west of 4th Street, from MH (Manufactured Home Park) to A-1 (General Industrial). The request is related to the proposed development of a recreational vehicle and mini-storage facility on the subject property.

Staff Contact: Ken Galica

2. PL-17-0210 – RV & Self-Storage Facility Conditional Use Permit

This is a hearing before the Planning Commission to review application PL-17-0210, a request for a Conditional Use Permit to permit the development of an indoor self-storage (e.g. mini-storage) facility with an outdoor recreational vehicle (RV) storage component. The proposed development will feature a combination of one and two story buildings providing leasable storage space, uncovered RV parking spaces, and a leasing office.

Staff Contact: Ken Galica

VIII. DISCUSSION ITEMS

1. Lakin Property Project Overview

Planning Commission will receive an overview of the proposed Lakin Property master planned community project which includes a request for a General Plan Amendment, Rezone to Planned Area Development, and a Pre-Annexation Development Agreement. The subject site is located on approximately 1,124 acres bounded by Dysart Road to the west to Avondale Boulevard to the east, Illini Street to the north, and Sunland Avenue to the south. This item is for information, discussion, and direction only.

Staff Contact: Robert Gubser

IX. OTHER BUSINESS

X. PLANNING STAFF REPORT

1. Attorney Presentation on Land Use Law and Open Meeting Procedures
2. Staff Presentation on the Development Process

XI. COMMISSION COMMENTS AND SUGGESTIONS

XII. ADJOURNMENT

NEXT MEETING: February 15, 2018

FOR SPECIAL ACCOMMODATIONS

Individuals with special accessibility needs, including sight or hearing impaired, large print, or interpreter, should contact the City Clerk at 623-333-1200 or TDD 623-333-0010 at least two business days prior to the meeting.

Personas con necesidades especiales de accesibilidad, incluyendo personas con impedimentos de vista u oído, impresión grande o intérprete, deben comunicarse con la Secretaria de la Ciudad at 623-333-1200 o TDD 623-333-0010 cuando menos dos días hábiles antes de la junta.



Staff Signature

1/9/18

Date

CITY COUNCIL CHAMBERS
11465 W CIVIC CENTER DRIVE
AVONDALE, AZ 85323

Thursday, December 21, 2017
6:00 P.M.

I. CALL TO ORDER

Acting Chair Solorio called the Regular Meeting to order at approximately 6:06 p.m.

II. ROLL CALL

The following members and representatives were present:

COMMISSIONERS PRESENT

Kristopher Ortega, Vice Chair
Olivia Pineda, Commissioner
Pearlette Ramos, Commissioner
Gloria Solorio, Commissioner
Russell Van Leuven, Commissioner

ABSENCE EXCUSED

Kevin Kugler, Chair
Troy Timmons, Commissioner

CITY STAFF PRESENT

Robert Gubser, Planning Manager
Ken Galica, Division Lead Planner
Rick Williams, Senior Planner
Byron Easton, Senior Planner
Nicholle Harris, City Attorney
Gary Verburg, City Attorney

III. OPENING STATEMENT

Acting Chair Solorio read the Opening Statement.

IV. APPROVAL OF MINUTES

Acting Chair Solorio invited a motion to approve the minutes. Commissioner Pineda moved to accept the minutes from the November 16, 2017 regular meeting with one correction. Commissioner Van Leuven seconded the motion. The motion passed by a 5 to 0 vote.

V. SCHEDULED PUBLIC APPEARANCES

None.

VI. WITHDRAWALS AND CONTINUANCES:

None.

VII. PUBLIC HEARING ITEMS:

1. PL-17-0201 - General Plan Text Amendment

This is a public hearing before the Planning Commission to review and solicit public input on a request by Ms. Carolyn Oberholtzer, Bergin, Frakes, Smalley, and Oberholtzer, PLLC, for approval of a General Plan Text Amendment redefining what constitutes a Major General Plan Map Amendment for Planned Area Developments (PADs) over 80 gross acres in size. Currently, any change in non-residential land use categories in 80+ acre PADs is processed as a Major General Plan Amendment. If approved, the proposed text would allow any change to the Education or Open Space/Parks land use categories within 80+ acre PADs to be processed as a Minor General Plan Amendment. Staff Contact: Ken Galica.

Ken Galica, Division Lead Planner, presented a proposed text amendment to General Plan 2030. The amendment specifically applies to the modification of major amendment criteria. The General Plan was approved by the City Council in April 2012 and ratified by over 80 percent of the voters later that year. The plan received both community-wide and organizational recognition, including awards from the Arizona Planning Association and other groups. One of the most significant items in the plan is the Land Use Map, which guides future development by influencing rezonings. The Land Use Map, however, cannot compel development and/or preservation of private lands for public use. When the General Plan was created, there was only one instance when public categories were applied to private property and that was in the Hillcrest development.

Mr. Galica stated that map amendments to the General Plan fall into two categories: major amendments that substantially alter the City's land use mixture balance; and minor amendments that cover changes which do not substantially change the City's land use mixture balance. The present request is to modify the criteria for major and minor amendments for Planned Area Developments (PADs) that are 80 acres or larger, specifically to exclude changes to the educational and open space parks categories to be processed as minor amendments. This is to facilitate a subsequent PAD amendment request for the Hillcrest development. Staff believes that the proposed amendment is an improvement to the City's General Plan amendment process. Removing the open space category from private property will not have any impact as PADs are still required to provide open space of at least 15 percent of the land

area regardless of the underlying land use designation. Residential developers of PADs are also required to work with school districts. For these reasons, staff believes the proposed amendment does not represent a substantial alteration to the land use mixture of balance. Staff recommends approval of the application.

Acting Chair Solorio opened the public hearing. Upon acknowledging no requests to speak, she closed the public hearing.

Acting Chair Solorio invited a motion to approve PL-17-0201. Commissioner Pineda moved to approve PL-17-0201. Commissioner Ramos seconded the motion. The motion passed by a 5 to 0 vote.

2. PL-17-0042 - Encanto Crossing Rezone

This is a hearing before the Planning Commission to review application PL-17-0042, a request by Mr. Chris Webb, Rose Law Group PC, to rezone approximately 60.62 acres of land, located west of the northwest corner of Avondale Boulevard and Encanto Boulevard. The request would rezone the subject site from Rural Residential (RR-43) to Planned Area Development (PAD) for the development of a 217 lot single-family subdivision known as Encanto Crossing. Staff Contact: Rick Williams.

Rick Williams, Senior Planner, stated the subject property is surrounded by Garden Trails, Garden Park, Donatela II and Palm Gardens neighborhoods, as well as the Canyon Breeze Elementary School. Nearby, the San Villagio development is under construction, and the River Run project is under first review. With the exception of the school site, the subject property is surrounded by single-family residential developments, predominantly zoned R1-6 and PAD, and the land use is completely surrounded by Medium Density Residential. The subject site was annexed in April of 2008, and originally zoned Rural Residential. It was a working dairy farm until 2013. The site is mostly vacant with some remnants of the farm remaining.

Mr. Williams stated that the request for rezoning to PAD would allow for a 217 single-family lot subdivision. Two parcels would be created with the PAD. Parcel A would have 135 lots at a minimum of 6,000 square feet, and Parcel B would have 82 lots at a minimum of 7,200 square feet. The Applicant is also requesting a modification of development standards to allow increases in lot sizes, increases in maximum lot coverage, and reduction of minimum side setbacks in both parcels. The PAD proposes 12.4 acres of open space, or roughly 20.46%.

Mr. Williams noted that the Applicant is also requesting approval of a preliminary plat, subdividing the 60 acres into 217 single-family lots with 20 open space tracts which will be addressed in agenda item VIII – Other Business.

Mr. Williams explained that there will be three points of access into the development, two along Encanto Boulevard and one on 119th Avenue. Parcel A would deviate from standard lot sizes by 1,000 square feet, and by 2,200 square feet in Parcel B. Current R1-5 standards require setbacks of 15 feet total on both sides, whereas the development proposes 10-foot total setbacks in Parcel A, and 13 feet total in Parcel B. The lot coverage would increase from a minimum of 45% in R1-5 to a maximum of 55% in both parcels for two-story homes and 50% for single-story homes. Offsite improvements would include half-street improvements along

Encanto Boulevard and 119th Avenue. The open space would consist of two pocket parks, 12 shaded seating areas, two half basketball courts, an internal trail system, and a pedestrian connection from the two subdivisions to the school south of Encanto Boulevard.

Mr. Williams reported that a neighborhood meeting was held for this proposal on October 30th at the school. The site was posted, and a legal ad ran in the *West Valley View*. Property owners within 1,000 feet were mailed postcards. Approximately 15 citizens and two Council Members attended. Overall the support was very positive. Staff has received no additional correspondence, and recommends approval subject to four stipulations.

Acting Chair Solorio opened the public hearing. Upon acknowledging no requests to speak, she closed the public hearing.

Commissioner Van Leuven inquired whether the traffic study indicated that three entry points would be sufficient. Mr. Williams indicated that a traffic analysis was done of the traffic impact on the surrounding area, including the school. The study determined that the proposed improvements would actually help traffic congestion associated with school pickups and drop-offs. The school has no concerns associated with traffic.

Commissioner Ramos noted comments made at the neighborhood meetings regarding pedestrian access gates and the sidewalk along 117th Avenue, and asked whether a stipulation was made to protect that access. Mr. Williams responded that such a stipulation was not included. Gary Verburg, City Attorney, explained that the Planning Commission could either add a stipulation as a condition of approval or it could be noted on the final plat as it moves forward.

Commissioner Ramos also pointed out that a question was raised by the community regarding the amount of active open space outside of retention areas. Mr. Williams reported that 61% of the total open space, or about 331,000 square feet, would be left high and dry. Commissioner Ramos noted that Council Member Dennis expected it to be 92%. Applicant Chris Webb, Rose Law Group, 7144 E. Stetson Drive, Suite 300, Scottsdale, explained that the figure reported at the time of the neighborhood meeting was a rough estimate. Since then, the engineers calculated that it would actually be 61%.

Commissioner Pineda inquired why the two staff stipulations were not included before. Mr. Williams responded that these issues have been identified in other recent developments since the staff report was written, and it was decided to apply them to this one as well. Vice Chair Ortega inquired about the support of the school principals. Mr. Webb responded that the Pendergast School District returned a Certificate of Adequate School Facilities showing that they did have the capacity to accommodate the children, and in fact indicated later at the public meeting that they are currently under enrolled. The high school district is also fully supportive.

Acting Chair Solorio invited a motion to approve PL-17-0042. Commissioner Ramos moved to approve PL-17-0042 with five stipulations, including a stipulation that provides that the pedestrian walkway to be contained within the PAD shall remain open to public access at all times, and that any gates will not be locked. Vice Chair Ortega seconded the motion. The motion passed by a 5 to 0 vote.

3. PL-17-0217 - Zoning Ordinance Text Amendments

This is a public hearing before the Planning Commission to review application PL-17-0217, a City initiated request to amend the Avondale Zoning Ordinance Section 1 (Administration and Procedures), Section 2 (Residential Districts), Section 3 (Commercial Districts), Section 4 (Employment Districts), Section 5 (Special Districts), Section 7 (Supplementary Regulations), Section 8 (Parking), Section 9 (Signs), Section 11 (Public Art), and Section 12 (Landscape, Walls, and Fences). The proposed amendment revises language and standards to address development and industry trends, modifies use listings in the Commercial and Special Districts, and allows for general housekeeping and clerical corrections. The proposal also institutes standards for small cell wireless facilities as required by State of Arizona legislation and establishes a requirement for City Capital Improvement Projects to incorporate a public art component. Staff Contact: Robert Gubser, AICP

Robert Gubser, Planning Manager, presented the latest revision of the Zoning Ordinance Text Amendments for Planning Commission approval. The modifications reflect the feedback received from the Commission and City Council. On September 21, the Commission asked several questions related to small cell wireless facilities in response to House Bill 2365 that allowed these facilities to be located within the right-of-way on street lights and traffic signals. Language was added to reflect the legislation. Changes were also made to terms and conditions and design guidelines. Suggestions were made regarding the language for the limited design review process and the timing of neighborhood meetings. There was also inquiry on proposed lighting changes.

Mr. Gubser noted that City Council reviewed this item on October 9. As a result of their feedback, the percentage of required apartment parking spaces needing to be actual garages was reduced to 20%. Neighborhood meetings will now be held in close proximity to proposed projects in order to facilitate greater civic engagement. "Coming soon" signs will now be limited to the 30 days prior to a business opening. A-frame signs cannot be located in the right-of-way, nor on sidewalks, but more flexibility is allowed in the Old Town Avondale Business District. The Municipal Arts Commission will not be removed from the public art process, as previously proposed, but staff will encourage developers to take public art through the process instead of simply paying a fee in-lieu of. Since Avondale has seen no proposals for tiny homes so far, it was decided to handle these requests on a case by case basis. In the event someone proposes a tiny home subdivision, staff would work within the existing Zoning Ordinance or possibly through a PAD. The Ordinance also contains language to ensure that landscaping is properly maintained based on the way the final plans were approved.

Mr. Gubser stated that clarifying language was added regarding quick administrative approval of minor changes through the limited design review process. Definitions for sexually-oriented businesses were rearranged but not redefined. Roofline and rooftop requirements were modified to ensure enough roof variation between house plans located adjacent to each other. Bus terminals were eliminated from the list of potential uses within the C-3 Freeway

Commercial District. Body piercing and tattoo parlors were changed from a conditional use to a permitted use based on recent case law. Additional uses were added to the Motor Sports and Entertainment District to help facilitate additional growth opportunities at the raceway on days when races are not scheduled. The Special Use Overlay and Historic Avondale Infill Overlay were clarified to ensure that Zoning Ordinance language reflects the desired outcome. Community kiosk signs were deleted.

Mr. Gubser summarized that the proposed changes provide greater flexibility in the City's overall process. It will be easier for staff and citizens to use. A legal ad appeared in the *West Valley View* on December 6, and the changes were posted to the Development and Engineering Services website, and aVOICE. Staff recommends approval.

Vice Chair Ortega inquired about the changes to tattoo parlors. Mr. Verburg explained that Tempe attempted to prohibit tattoo parlors in strip malls, but the court determined that tattoos were a form of expression protected by the First Amendment, and therefore unable to be prohibited without a compelling governmental interest to do so. The language was changed to conform to that case law.

Vice Chair Ortega asked whether dilapidated landscaping had to be restored within a certain time frame. Mr. Gubser said it should be up to the property manager to replace it almost immediately, but staff could work with Code Enforcement to cite them, if necessary. So long as property managers show that they are trying to remedy the situation, the City could hold off on citations.

Acting Chair Solorio opened the public hearing. Upon acknowledging no requests to speak, she closed the public hearing.

Acting Chair Solorio invited a motion to approve PL-17-0217. Commissioner Pineda moved to recommend approval of PL-17-0217. Commissioner Van Leuven seconded the motion. The motion passed by a 5 to 0 vote.

VIII. OTHER BUSINESS

1. PL-17-0043 - Encanto Crossing Preliminary Plat

This is a hearing before the Planning Commission to review application PL-17-0043, a request by Mr. Chris Webb, Rose Law Group PC, for approval of a Preliminary Plat. The Plat covers approximately 60.62 acres of land located west of the northwest corner of Avondale Boulevard and Encanto Boulevard. The proposal includes 217 single-family detached residential lots at a density of 3.57 dwelling units per acre. The plat dedicates 12.41 acres of tracts to accommodate parks, trails, and other open space needs of the future residents of the community. Staff Contact: Rick Williams.

Rick Williams, Senior Planner, said the preliminary plat conforms to the Encanto Crossing PAD, the Subdivision Regulations and the Single-Family Design Review Manual. The PAD is consistent with the goals and objectives of the 2030 General Plan. The density of 3.57 dwelling units per acre is consistent with is consistent with the General Plan and the

surrounding developments. It advances the goals and objectives of the North Avondale Specific Plan. Staff believes the development standard deviations request is offset by the larger lot sizes, the additional open space, the programming of the open space, and the multi-use trails that establish pedestrian access to the school. The provided open space exceeds requirements by 5.46%. Both school districts are in support of the proposal. Canyon Breeze Elementary School is currently under enrolled. The preliminary plat is in conformance with all the requirements set forth by the City.

Mr. Williams explained that staff decided to add two stipulations to the preliminary plat. The first stipulates that all playground equipment shall be covered with a shade canopy. The second provides the developer with two options to mitigate headlight intrusion on lots that are subject to it. Staff recommends approval.

Acting Chair Solorio invited a motion on PL-17-0043. Commissioner Van Leuven moved to recommend approval of Application PL-17-0043 subject to six conditions of approval. Acting Chair Solorio seconded the motion. The motion passed by a 5 to 0 vote.

IX. PLANNING STAFF REPORT

Mr. Gubser and Mr. Verburg thanked the Commissioners for their service during the course of the year. Mr. Gubser noted that three Commissioners will be departing after this meeting: Chair Kugler, Commissioner Pineda, and Commissioner Solorio, and that they were presented tokens of appreciation.

Mr. Gubser said the next meeting will include an overview of the Open Meetings Law.

X. COMMISSION COMMENTS AND SUGGESTIONS

Vice Chair Ortega inquired about a quorum for the next meeting. Mr. Gubser reported that three new Commissioners have been appointed: Michelle Molina, Mandy Neat and Lisa Osborn. Lisa Amos has also been named the alternate.

XI. ADJOURNMENT

Acting Chair Solorio entertained a motion to adjourn the regular meeting. Commissioner Ramos moved to adjourn. Commissioner Pineda seconded the motion. The motion passed by a 5 to 0 vote.

With no further business, the meeting concluded at approximately 7:17 P.M.

NEXT MEETING: January 18, 2018

FOR SPECIAL ACCOMMODATIONS

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Staff Signature

Date

Planning Commission Date: January 18, 2018

PREPARED BY: Ken Galica, Senior Planner (623) 333-4019

REVIEWED BY: Robert Gubser, AICP, Planning Manager (623) 333-4015

RECOMMENDATION: APPROVAL SUBJECT TO CONDITIONS

SUBJECT: Hold a public hearing for case PL-17-0209, a request to rezone real property from MH (Manufactured Home Park) to A-1 (General Industrial)

PARCEL SIZE: 7.71 gross acres

LOCATION: Approximately 144 feet west of the northwest corner of Lower Buckeye Road and 4th Street (Exhibits A, B, and C)

APPLICANT: Mr. Robert Lepore,
RLeporeArchitecture, LLC (602) 318-0100

OWNER: Ms. Nancy Schenck, RNLS
Properties, LLC (602) 678-6902



BACKGROUND:

The 7.71 gross acre subject property was annexed into the City of Avondale corporate limits in December 1959 and was subsequently zoned R-5 (Multi-Family Residence). At the time, the R-5 district allowed for commercial, industrial and residential uses. Upon adoption of the City’s new Zoning Ordinance in 1990, the R-5 district was amended to only allow for development of manufactured home parks. In 2009, the R-5 District was renamed to the MH (Manufactured Home Park) district to better reflect the uses allowed in the zone. The property’s zoning remains MH.

The property, which today is comprised of three parcels, was used for agricultural purposes until the late 1970s, when a greyhound kennel, three single-family homes, and three mobile homes were erected on the property. The mobile homes were removed from the property prior to 1986 and the kennel ceased operation and was partially demolished in 2013. Today, three single-family homes (two occupied, one vacant) and disused remnants of the kennel remain.

The subject site is designated by the General Plan 2030 Land Use Map as Industrial (Exhibit B). This designation is intended to accommodate a range of industrial uses on properties that have adequate transportation access, with an emphasis on ensuring design measures, such as ample landscape buffers, are provided to ensure conflicts with existing, adjacent uses are minimized. The property's current MH zoning is not consistent with the Industrial designation.

The property has frontage on two streets, Lower Buckeye Road to the south and Elm Lane to the north. The existing uses and zoning of the surrounding properties are as follows:

- **NORTH OF ELM LANE:** The majority of properties north of the subject site are developed with single-family residences on lots zoned R1-6 (Urban Residential, 6,000 square foot lot area minimum). Development of the area with single-family homes primarily occurred in the 1960s and 1970s. Additional land uses to the north include:
 - Mountain View Park, a public park facility owned and operated by the City of Avondale
 - The City of Avondale's Senior Center
 - Vianney Villas, a 50-unit independent senior living apartment community constructed in the late 1970s
 - Rose Terrace, a 60-unit low-income apartment community constructed in 2002
- **SOUTH OF LOWER BUCKEYE ROAD:** The City of Avondale Municipal Operations Service Center (MOSC), a public facility housing the City's Public Works Department. The nature of the work occurring at the facility is mostly industrial in nature and includes heavy vehicle storage, vehicle repair, fueling stations, and other components related to operations of the City's streets, water, and sewer systems. The MOSC facility, which was constructed in 2000 and expanded to its current configuration in 2006, is zoned AG (Agricultural).
- **EAST:** Nine lots containing single-family residences, separated from the subject property by a 16' alley. The lots, most of which were developed in the 1970s, are zoned R1-6 (Urban Residential) and are not a part of any subdivision of record.
- **WEST:** Two vacant, undeveloped parcels, zoned R1-6 (Urban Residential).

DETAILS OF REQUEST:

The applicant is seeking to develop the site with an RV (recreational vehicle) and self-storage facility (e.g. "mini-storage facility"). Neither mini-storage facilities nor vehicle storage facilities are permitted under the property's current MH (Manufactured Home Park) zoning. These uses are permitted, however, in the A-1 (General Industrial) zoning district, subject to City Council approval of a Conditional Use Permit (CUP). As such, the property owner is requesting to rezone the subject property from MH (Manufactured Home Park) to A-1 (General Industrial), in conformance with the property's General Plan designation of "Industrial". A separate request for approval of the CUP is scheduled to be heard immediately following this item.

Development of the site will be required to adhere to the standards for industrial development as outlined in the Avondale Zoning Ordinance. Amongst other aims, these requirements help to ensure adequate separation, buffering, and screening are provided to ensure nearby residential uses are not negatively impacted. Additionally, future development of the site will be subject to the Historic Avondale Design and Development Guidelines. This document guides architecture, site design, and other aesthetic components of site development for properties located within Historic Avondale, ensuring new development complements the existing built environment and adds to the area's revitalization.

PUBLIC INPUT:

Staff and the applicant conducted a neighborhood meeting to discuss the proposed rezoning and Conditional Use Permit at 6:00 P.M. on Thursday, November 30th in the Lantana Room at the City's Municipal Operations Service Center (MOSC). The meeting was advertised in the November 15, 2017 edition of the West Valley View. A notification sign, containing date, time, and location for the neighborhood meeting, was erected adjacent to Dysart Road on November 15, 2017. Additionally, property owners within 1,000 feet of the subject property were notified of the meeting by via postcards sent on November 9, 2017. With the exception of staff and the applicant, no persons attended the neighborhood meeting.

Postcards notifying property owners within 1,000 feet of the subject property of this Planning Commission meeting were mailed on December 21, 2017. The public hearing notice sign was updated to reflect the date, time, and location of this Planning Commission meeting on December 21, 2017. Additionally, a notice of the Planning Commission hearing was published in the West Valley View on January 3, 2018. As of the writing of this report, staff has been contacted by one property owner seeking additional information on the request.

Four comments related to the proposal have been posted on the City's aVoice forum in response to the question, "What do you think of the proposed RV & Self-Storage Facility on Lower Buckeye Road, west of 4th Street?":

- "I think whenever you can change the zoning from "Manufactured Home Park" to "General Industrial" it's a step in the right direction."
- "Any new business to our City means progress as long as it does not affect public areas, neighborhoods, or traffic."
- "This would be great as long as the charges are reasonable and don't go up every 6-12 months (like the facility we currently use)."
- We should welcome most business ventures. More business leads to additional jobs and a stronger tax base. The administration is making great strides at promoting the Avondale area."

ANALYSIS:

The current zoning of the subject property, MH, allows for development of the subject property with a manufactured home park or single-family residential subdivision. Development of residential uses on the property under the current zoning, however, would be inconsistent with the General Plan 2030's vision for non-residential, industrial uses on the subject property. This Industrial land use designation was applied to the site in order to both complement the industrial character of the City's Municipal Operations Service Center, located directly across Lower Buckeye Road, and also provide additional sites for industrial operations benefitting from the Goodyear Airport, located less than a mile west of the subject

site. Approval of the applicant's request to rezone the property to A-1 and concurrent request for a Conditional Use Permit for an RV and self-storage facility would bring the property's zoning into conformance with the General Plan and provide a needed service to support planned residential developments in the southern portion of Avondale.

In addition, the proposed rezoning and accompanying CUP will help to further the goals and policies of the General Plan as they relate to revitalization of Historic Avondale and supporting infill or redevelopment projects. Development of the subject property under the standards of the A-1 District and Historic Avondale Design and Development Guidelines will enhance the vitality and aesthetic quality of the area through removal of dilapidated remnants of the former greyhound kennel, developer funded construction of improvements to Lower Buckeye Road and Elm Lane (including installation of street lights and undergrounding of power lines), construction of buildings and screen walls that contribute to a high quality built environment, and provision of significant quantities of landscaping throughout the subject property. Any impacts on adjacent residential properties will be minimized by provision of wide landscape buffers/setbacks (24'6") that will accommodate dense tree plantings to further screen and beautify the property. Furthermore, to ensure the proposed facility does not contribute to traffic on local streets and disrupt the character of the neighborhood north of the subject site, staff's recommendation includes a stipulation prohibiting access to the property from Elm Lane (except for emergency access or to access the existing residences until they are demolished).

Strategic Plan Goals and Objectives:

INITIATIVE: Foster sustainable community development

STRATEGIC GOAL: Maintain and expand quality infrastructure and improve connectivity to City amenities.

INITIATIVE: Encourage and support creative innovation in development and service delivery

STRATEGIC GOAL: Encourage a flexible environment responsive to market trends

Conclusion:

Staff recommends approval of this request for the following reasons:

1. The rezoning request to A-1 (General Industrial) is in conformance with the subject property's General Plan Land Use Designation of "Industrial" and furthers the Goals and Objectives of the General Plan.
2. Required adherence to the permitted uses and development standards of the A-1 District, the design standards of the Historic Avondale Design & Development Guidelines, and all other applicable City codes, ordinances, and policies will result in a project that contributes to the continued revitalization of Historic Avondale.

REQUIRED ACTION:

Conduct a **public hearing** and determine if this request is in the best long-term interest of the Historic Avondale and consistent with the Goals of the General Plan 2030.

RECOMMENDED MOTION:

I move that the Planning Commission accept the findings and recommend **APPROVAL** of application PL-17-0209, a request to rezone approximately 7.71 gross acres from MH (Manufactured Home Park) to A-1 (General Industrial), subject to 8 staff recommended conditions of approval.

CONDITIONS OF APPROVAL:

1. Development and use of the site shall generally conform to the Project narrative date stamped October 19, 2017 and the Conceptual Site Plan date stamped December 21, 2017, attached to the staff report as Exhibits E and F, respectively.
2. A Minor Land Division, combining all three subject parcels, and dedicating 50' of total right-of-way on Lower Buckeye Road and any necessary easements, shall be approved by the City and recorded prior to issuance of a permit for the first phase of development on the subject property.
3. Until such time that they are demolished, the existing residences on the subject property shall be considered non-conforming and may not be expanded or altered in any way. Maintenance of these residences shall not be considered alteration for the purposes of this condition.
4. All required off-site improvements to Lower Buckeye Road, to include street lights, shall be completed in the first phase of development prior to issuance of a Certificate of Occupancy or Certificate of Completion.
5. Street lights shall be installed along Elm Lane and all existing driveways along Elm Lane must be removed and replaced with a vertical curb and gutter and sidewalk in Phase 1. A new driveway shall be constructed in line with the emergency access gate as illustrated on the conceptual site plan.
6. All power lines less than 69kV along Lower Buckeye Road and the site's west property line must be converted underground in the first phase of development prior to issuance of a Certificate of Occupancy or Certificate of Completion.
7. No access to the site shall be allowed from Elm Lane, with the following exceptions:
 - a. A secondary access point strictly for emergency access may be provided to Elm Lane.
 - b. Access to the existing residences from Elm Lane may be preserved until such time that the residences are demolished.
8. Pads labeled as "Future Development" shall not be used for RV storage/parking.

SUPPORTING DOCUMENTS ATTACHED:

- Exhibit A – Aerial Photograph
- Exhibit B – General Plan Land Use Map
- Exhibit C – Zoning Vicinity Map
- Exhibit D – Summary of Related Facts
- Exhibit E – Applicant's Request for Rezoning Narrative
- Exhibit F – Conceptual Site Plan

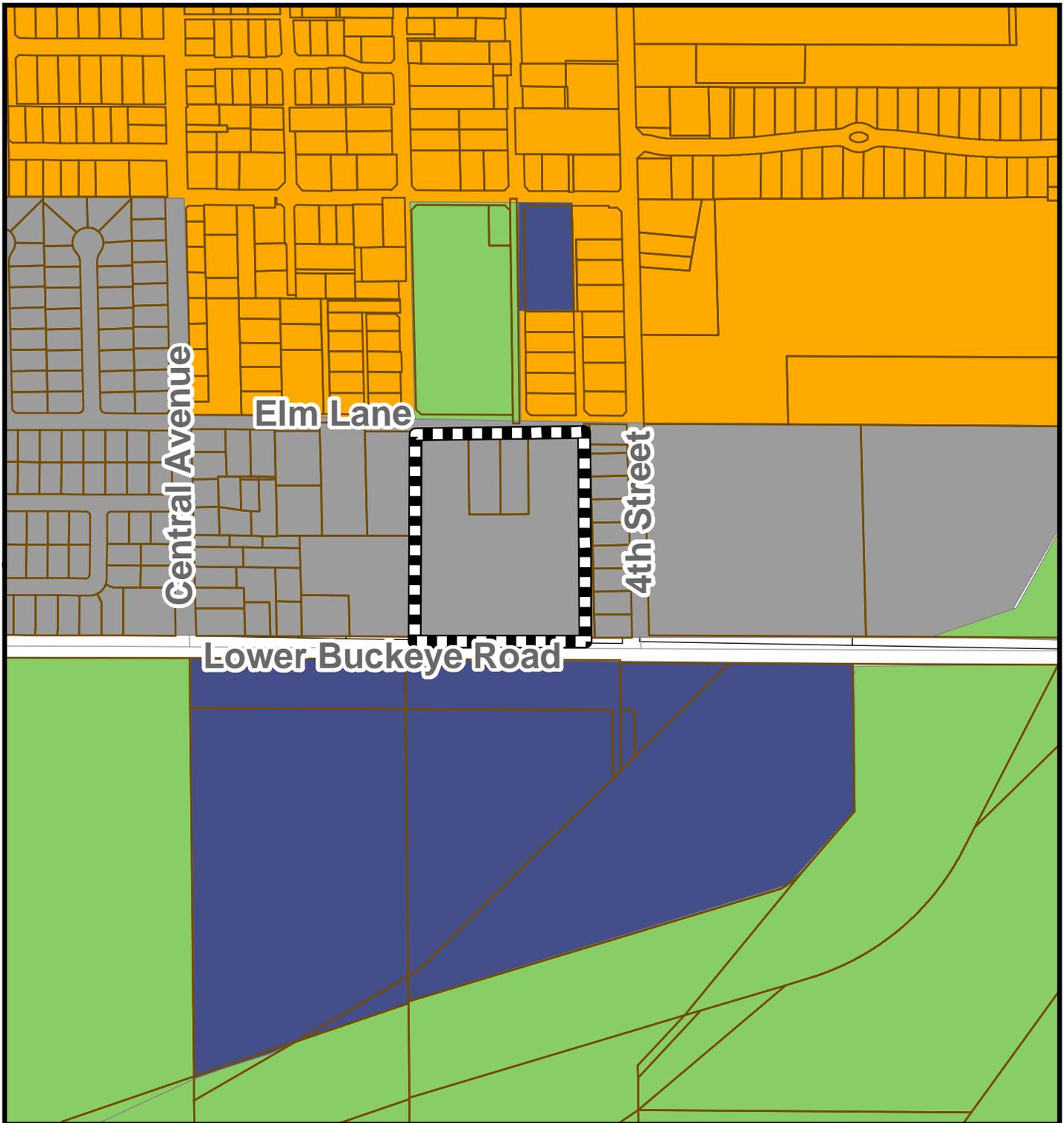


Aerial Photograph



Project Location

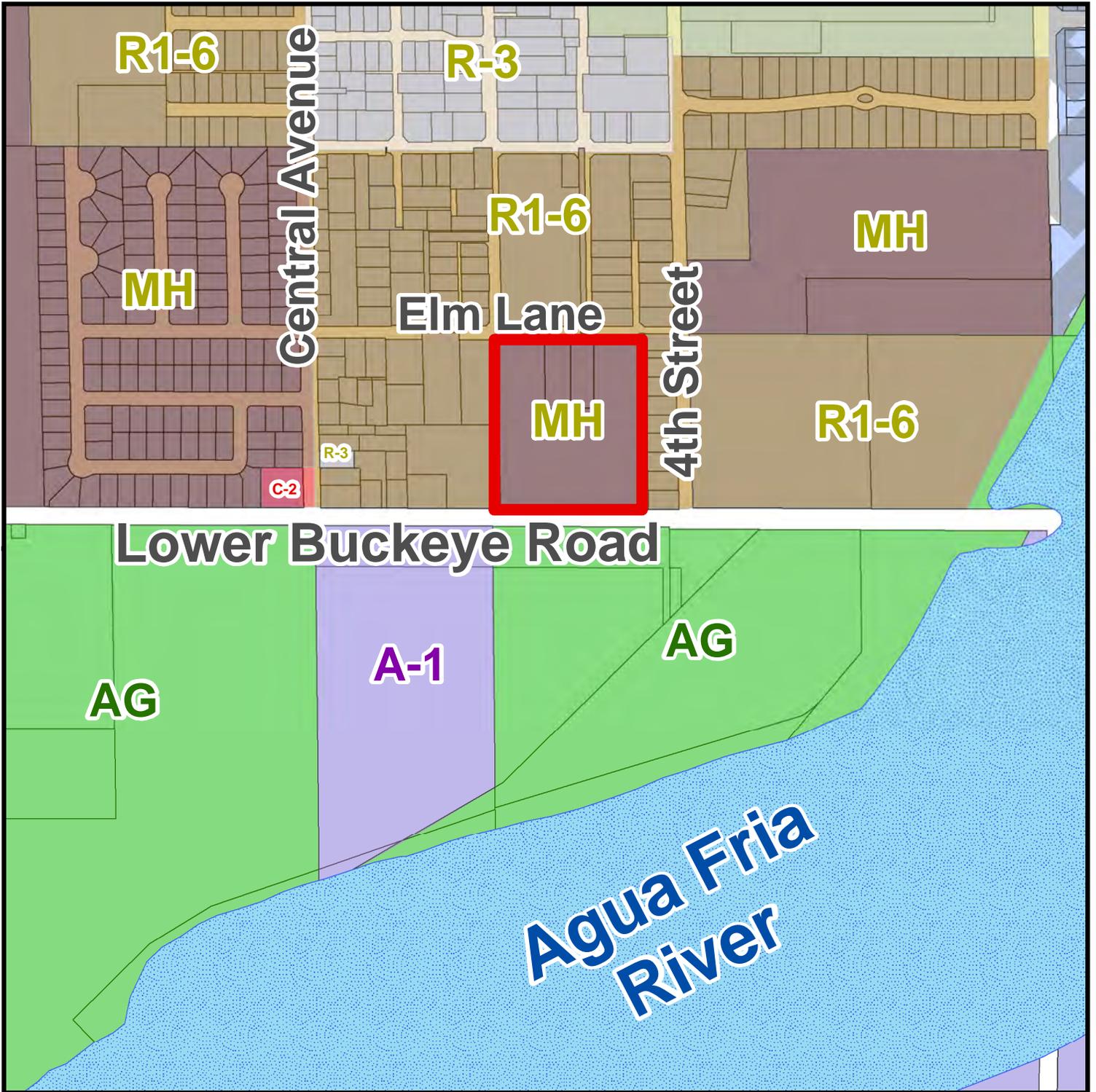




General Plan Land Use Map

-  Industrial
-  Medium Density Residential
-  Public/Civic
-  Subject Property
-  Open Space





Zoning Vicinity Map



Project Location



SUMMARY OF RELATED FACTS

APPLICATIONS PL-17-0209 and PL-17-0210

<i>THE PROPERTY</i>	
PARCEL SIZE	Three parcels totaling approximately 7.7 gross acres
LOCATION	Approximately 144 feet west of the northwest corner of Lower Buckeye Road and 4 th Street
PHYSICAL CHARACTERISTICS	The subject site is rectangular in shape and slopes from north to south.
GENERAL PLAN LAND USE	Industrial
EXISTING ZONING	MH (Manufactured Home Park)
ZONING HISTORY	The property was annexed into the City of Avondale in December 1959 and zoned R-5 (Multi-Family Residence), which at the time allowed a range of commercial, industrial, and residential uses. Upon adoption of the City's new Zoning Ordinance in 1990, the R-5 district was amended to only allow for construction of manufactured home parks. In 2009, the R-5 district was renamed to the MH (Manufactured Home Park) district to better reflect the uses allowed in the zone. The current zoning of the property remains MH.
DEVELOPMENT HISTORY	The property was used for agricultural purposes until the late 1970s, when a greyhound kennel, three single-family homes, and three mobile homes were constructed on the property. The mobile homes were removed from the property prior to 1986 and the kennel ceased operation and was partially demolished in 2013. Today, three single-family homes (two occupied, one vacant) and abandoned remnants of the kennel remain.

<i>SURROUNDING ZONING AND LAND USE</i>	
NORTH OF ELM LANE	The majority of properties north of the subject site are developed with single-family residences on lots zoned R1-6 (Urban Residential, 6,000 square foot lot minimum). Additional land uses to the north include: <ul style="list-style-type: none"> • Mountain View Park, a public park facility run by the City of Avondale • The City of Avondale's Senior Center • Vianney Villas, a 50-unit independent senior living apartment community constructed in the late 1970s. • Rose Terrace, a 60-unit low-income apartment community constructed in 2002
EAST	Nine lots containing single-family residences separated from the subject property by a 16' alley. The lots, most of which were developed in the 1970s, are zoned R1-6 (Urban Residential) and are not a part of any subdivision of record.
SOUTH OF LOWER BUCKEYE ROAD	The City of Avondale Municipal Operations Service Center (MOSC), a public facility housing the City's Public Works Department. The MOSC facility, which was constructed in 2000 and expanded to its current configuration in 2006, is zoned AG (Agricultural).
WEST	Two vacant, undeveloped parcels, zoned R1-6 (Urban Residential).

<i>PUBLIC SCHOOLS</i>	
SCHOOL DISTRICT(S)	Avondale Elementary School District Agua Fria Union High School District
ELEMENTARY SCHOOL	Lattie Coor Elementary School (K-8)
HIGH SCHOOL	Agua Fria High School

<i>ADJACENT STREETS</i>	
Lower Buckeye Road	
Classification	Minor Arterial
Existing half street ROW	33'
Standard half street ROW	50'
Existing half street improvements	One through lane
Standard half street improvements	Two through lanes, half center turn lane, curb, gutter, sidewalk, streetlights, powerline undergrounding, and landscaping
Elm Lane	
Classification	Local Street
Existing half street ROW	25'
Standard half street ROW	25'
Existing half street improvements	One through lane, curb, gutter, and sidewalk.
Standard half street improvements	One through lane, curb, gutter, sidewalk, streetlights, landscaping.

<i>UTILITIES</i>
<p>Water service will be provided to the proposed development by an existing 10" water line in Lower Buckeye Road and an existing 6" water line in Elm Lane. A looped system satisfying fire code requirements will be required.</p> <p>Sewer service will be provided using an existing 10" sewer line in Lower Buckeye Road.</p> <p>APS provides electrical service in this portion of Avondale.</p>

Exhibit E

Applicant's Rezoning Project Narrative

RLeporeArchitecture, LLC

RLeporeArchitecture@gmail.com

13440 North 44th Street, #2031
Phoenix, Arizona 85032

ph: 602.318.0100

Project Narrative

RV and Self Storage

Lower Buckeye Road
Avondale, Arizona 85323
Application PL-17-0209

Basic Overview of Proposal

The proposed development will be located on a parcel which is presently comprised of (3) separate parcels which are all presently zoned MH (Manufactured Home Park). The (3) separate parcels will be combined into a single lot with the two smaller parcels being exceptions. The parcel will be rezoned to a A-1 district through the City of Avondale Rezoning and Lot Combination procedures. Once combined, the parcel will comprise 306,401 SF (7.034 acres). The overall project will be developed in various phases. There are existing structures on the property with one of the buildings being a single family residence. (2) of the existing buildings are vacant single-story masonry buildings which will be demolished during phase one of the development. The remaining structures will be demolished during the subsequent phases of the development. The overall full build-out of the project will be phased in various phases.

The initial phase will consist of developing approximately 165,900 SF of the property which will include a combination of 57 RV uncovered parking stalls and approximately 7,550 SF of various size storage units. The initial phase will initiate construction immediately after the rezoning and construction permit permits have been approved. The subsequent phases will consist of additional RV parking and storage units. The subsequent phase developments will be submitted to the City of Avondale for the appropriate approvals prior to construction.

Site Circulation

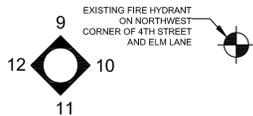
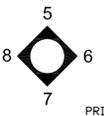
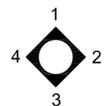
Main access to the development will be off Lower Buckeye Road. An approximately 400 SF office building will be located adjacent to the drive access along with (4) customer parking stalls. Access to the RV stalls and storage units will be provided a through gated entry. Circulation through the project will be provided by 35' drives adjacent to all RV parking stalls and 24' drive aisles adjacent to storage units. One additional gated emergency exit will be provided exiting onto East Elm Lane to the north. The existing single-family residence has a drive which exits onto East Elm Lane which will remain during phase one. The major drive aisles will provide appropriate turning radius for fire department access and circulation.

Unusual Characteristics & Compatiability

The Site will be surrounded by 9' high decorative masonry walls and a landscape buffer zone which will provide a natural transition to the adjacent properties. The development will provide a valuable service to the Avondale community. There are no unusual characteristics of the site.

Exhibit F

Conceptual Site Plan



Development to the North

R1-6 ZONING

ELM LANE

PRIVATE ENTRANCE w/ OWNER ONLY ACCESS

RV & Self Storage

Lower Buckeye Road
Avondale, Arizona 85323

Project

Data

EXISTING PARCELS:

Parcel A:
Owner: Nancy L. Schenck
P.O. Box 7813
Goodyear, Arizona 85338

APN: 500-56-026W
Site Area: 22,343 SF (0.513 acres)

Parcel B:
Owner: Nancy L. Schenck
P.O. Box 7813
Goodyear, Arizona 85338

APN: 500-56-026T
Site Area: 20,976 SF (0.482 acres)

Parcel C:
Owner: RNLS Properties, LLC
P.O. Box 7813
Goodyear, Arizona 85338

APN: 500-56-026X
Site Area: 263,082 SF (6.039 acres)
Total Site: 306,401 SF (7.034 acrea)

AREA CALCULATIONS:

Phase 1:

Site Area: 306,401 SF
Self Storage Building Area:
Ground Level: 46,850 SF
2nd Level: 28,400 SF
Total Self Storage Unit SF's: 72,250 SF

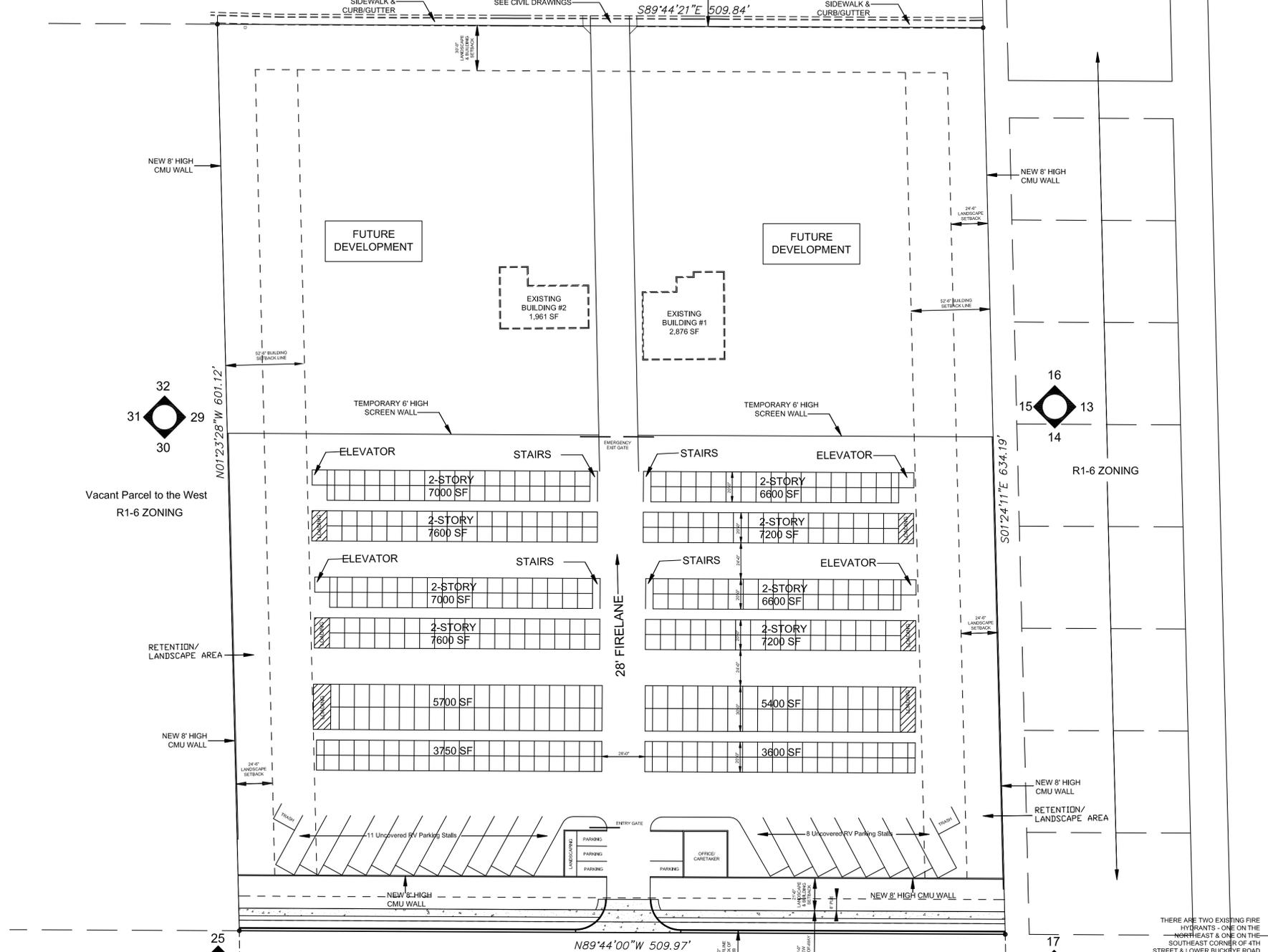
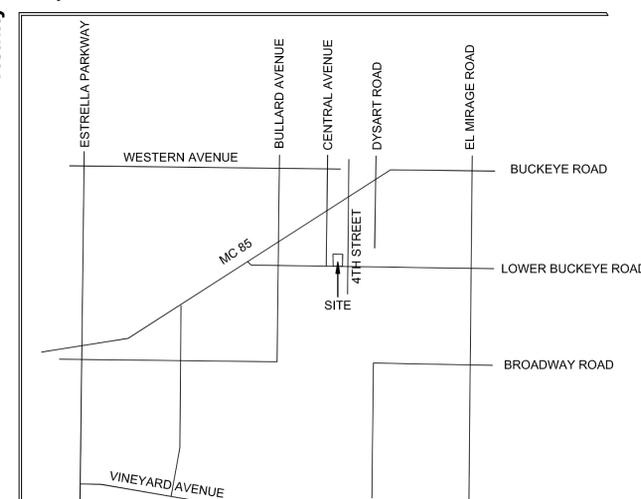
Office: 940 SF
Existing Structures: 4,838 SF

Lot Coverage: 52,628 / 306,401 = 17%

Landscape Area: 29,305 SF on perimeter
Open Air Area: 89,597 SF

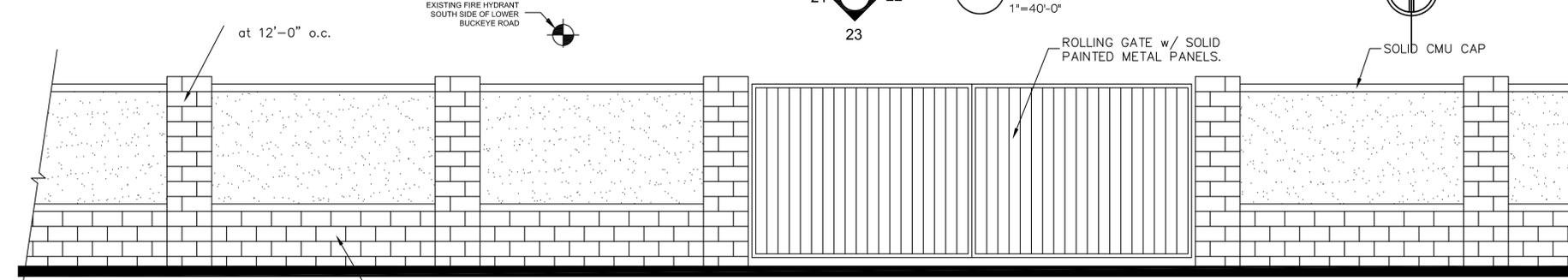
Map

Vicinity



01 Site Plan (Phase 1)
1"=40'-0"

02 Perimeter Fence
N.T.S.



R Lepore Architecture, LLC

13440 North 44th Street, #2031
Phoenix, Arizona 85032
ph: 602.318.0100
R Lepore Architecture@gmail.com



Expires 12-31-2017

RV & Self Storage Facility
390 East Lower Buckeye Road
Avondale, Arizona 85323

Site Plan & Data

A0.0

RV & Self Storage

Lower Buckeye Road
Avondale, Arizona 85323

Project

Data

EXISTING PARCELS:

Parcel A:
Owner: Nancy L. Schenck
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Goodyear, Arizona 85338

APN: 500-56-026W
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Owner: Nancy L. Schenck
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Goodyear, Arizona 85338

APN: 500-56-026T
Site Area: 20,976 SF (0.482 acres)

Parcel C:
Owner: RNLS Properties, LLC
P.O. Box 7813
Goodyear, Arizona 85338

APN: 500-56-026X
Site Area: 263,082 SF (6.039 acres)

Total Site: 306,401 SF (7.034 acres)

AREA CALCULATIONS:

Phase 1:

Site Area: 306,401 SF
Self Storage Building Area: 86,050 SF
Ground Level: 42,600 SF
2nd Level: 43,450 SF
Total Self Storage Unit SF's: 128,650 SF

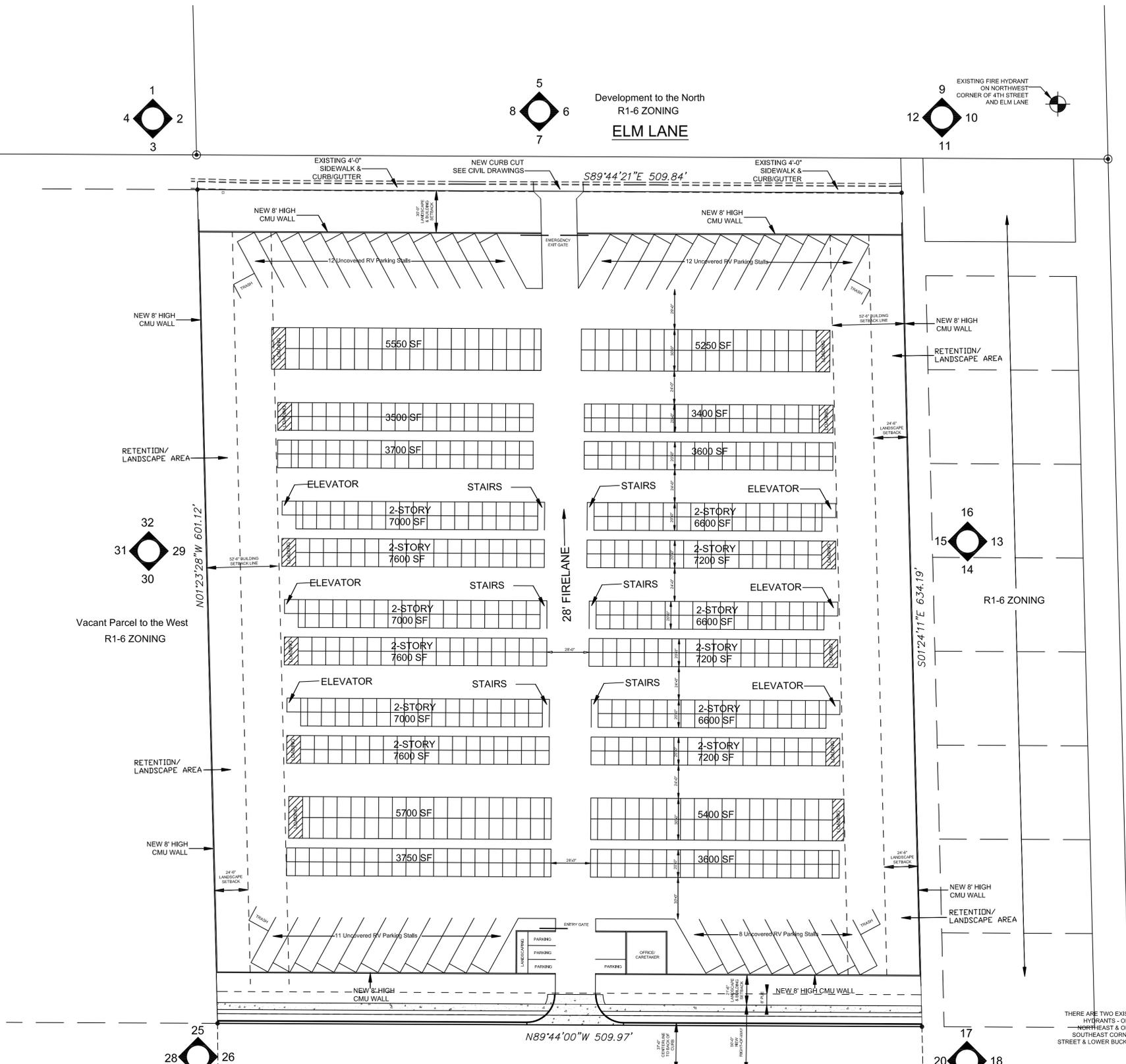
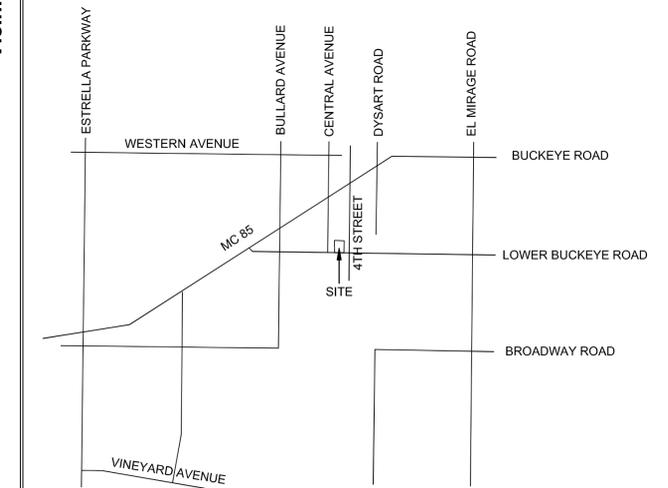
Office: 940 SF
Existing Structures: 0 SF

Lot Coverage: 90,990 / 306,401 = 29.6%

Landscape Area: 29,305 SF on perimeter
Open Air Area: 207,012 SF

Vicinity

Map



01 Site Plan (Full Build Out)
1"=40'-0"

R Lepore Architecture, LLC
13440 North 44th Street, #2031
Phoenix, Arizona 85032
ph: 602.318.0100
R Lepore Architecture@gmail.com



RV & Self Storage Facility
390 East Lower Buckeye Road
Avondale, Arizona 85323

Site Plan & Data
A0.1

Planning Commission Date: January 18, 2018

PREPARED BY: Ken Galica, Senior Planner (623) 333-4019

REVIEWED BY: Robert Gubser, AICP, Planning Manager (623) 333-4015

RECOMMENDATION: APPROVAL SUBJECT TO CONDITIONS

SUBJECT: Hold a public hearing for case PL-17-0210, a request for a Conditional Use Permit for a mini-storage facility in the A-1 (General Industrial) zoning district

PARCEL SIZE: 7.71 gross acres

LOCATION: Approximately 144 feet west of the northwest corner of Lower Buckeye Road and 4th Street (Exhibits A, B, and C)

APPLICANT: Mr. Robert Lepore,
RLeporeArchitecture, LLC (602) 318-0100

OWNER: Ms. Nancy Schenck, RNLS
Properties, LLC (602) 678-6902



BACKGROUND:

The 7.71 gross acre subject property was annexed into the City of Avondale corporate limits in December 1959 and was subsequently zoned R-5 (Multi-Family Residence). At the time, the R-5 district allowed for commercial, industrial and residential uses. Upon adoption of the City’s new Zoning Ordinance in 1990, the R-5 district was amended to only allow for development of manufactured home parks. In 2009, the R-5 District was renamed to the MH (Manufactured Home Park) district to better reflect the uses allowed in the zone. The property’s zoning remains MH.

The property, which today is comprised of three parcels, was used for agricultural purposes until the late 1970s, when a greyhound kennel, three single-family homes, and three mobile homes were erected on the property. The mobile homes were removed from the property prior to 1986 and the kennel ceased

operation and was partially demolished in 2013. Today, three single-family homes (two occupied, one vacant) and disused remnants of the kennel remain.

The subject site is designated by the General Plan 2030 Land Use Map as Industrial (Exhibit B). This designation is intended to accommodate a range of industrial uses on properties that have adequate transportation access, with an emphasis on ensuring design measures, such as ample landscape buffers, are provided to ensure conflicts with existing, adjacent uses are minimized. The property's current MH zoning is not consistent with the Industrial designation. An application to rezone the property to A-1 (General Industrial), in conformance with the General Plan designation, is being considered this evening.

The property has frontage on two streets, Lower Buckeye Road to the south and Elm Lane to the north. The existing uses and zoning of the surrounding properties are as follows:

- **NORTH OF ELM LANE:** The majority of properties north of the subject site are developed with single-family residences on lots zoned R1-6 (Urban Residential, 6,000 square foot lot area minimum). Development of the area with single-family homes primarily occurred in the 1960s and 1970s. Additional land uses to the north include:
 - Mountain View Park, a public park facility owned and operated by the City of Avondale
 - The City of Avondale's Senior Center
 - Vianney Villas, a 50-unit independent senior living apartment community constructed in the late 1970s
 - Rose Terrace, a 60-unit low-income apartment community constructed in 2002
- **SOUTH OF LOWER BUCKEYE ROAD:** The City of Avondale Municipal Operations Service Center (MOSC), a public facility housing the City's Public Works Department. The nature of the work occurring at the facility is mostly industrial in nature and includes heavy vehicle storage, vehicle repair, fueling stations, and other components related to operations of the City's streets, water, and sewer systems. The MOSC facility, which was constructed in 2000 and expanded to its current configuration in 2006, is zoned AG (Agricultural).
- **EAST:** Nine lots containing single-family residences, separated from the subject property by a 16' alley. The lots, most of which were developed in the 1970s, are zoned R1-6 (Urban Residential) and are not a part of any subdivision of record.
- **WEST:** Two vacant, undeveloped parcels, zoned R1-6 (Urban Residential).

DETAILS OF REQUEST:

The applicant is requesting approval of a Conditional Use Permit (CUP) to locate a mini-storage facility on the subject property (Exhibit E). Approval of a Conditional Use Permit is required for mini-storage facilities in the A-1 (General Industrial) zoning district. This request for a CUP can only be supported if the concurrent request to rezone the subject site to A-1 is also supported, as mini-storage is not a permitted use under the property's current MH (Manufactured Home Park) zoning.

The proposed development (Exhibit F), which will be gated, features a combination of one and two story buildings containing self-storage units, uncovered parking spaces sized to accommodate seasonal parking

of unoccupied recreational vehicles (RVs), and a leasing office/caretaker's quarters. With the exception of the RV parking, no outdoor storage will occur on the site. Phasing of the development is proposed, as follows:

- **Phase 1** (south half of site) will include construction of a leasing office/caretaker's quarters adjacent to Lower Buckeye Road, four single-story self-storage buildings and eight two-story self-storage buildings, and 19 uncovered recreational vehicle parking spaces. The first phase will also include all required improvements to Lower Buckeye Road and Elm Lane, undergrounding of power lines, construction of an 8' decorative screen wall enclosing the facility, and construction of a new emergency-only access to the site from Elm Lane. Two existing single-family residences on the north portion of the subject site will be preserved in Phase 1; all other existing structures on the site will be demolished in this phase.
- **Full Build Out** (entire property) will preserve the Phase 1 improvements while adding four additional two-story storage buildings, six additional single-story storage buildings, and 24 additional recreational vehicle parking spaces. Full build out will also include the demolition of the two residences on the northern half of the property and extension of the perimeter wall to enclose the extent of the facility. In total, at full build out, the development will include 128,650 square feet of indoor storage space, 43 RV parking spaces, and a 940 square foot leasing office/caretaker's quarters.

The developer will be responsible for off-site improvements to adjacent streets. These improvements include construction of an additional westbound travel lane, curb, gutter, sidewalk, and streetlights in Lower Buckeye Road, and addition of streetlights along Elm Lane. Public access to the site will occur solely from a new gated entrance driveway into the site from Lower Buckeye Road. Except for a required emergency access and access to the existing residential until they are demolished (Full Build Out), no access to Elm Lane will be provided in order to negate impacts of the proposed facility on the largely residential area located to the north.

Four vehicle parking spaces are provided in proximity to the leasing office. Additionally, parking/loading areas are provided at the ends of buildings throughout the proposed development to allow customers to conveniently load and unload storage units without obstructing drive-aisles or fire lanes.

Though mini-storage facilities are low profile, low intensity uses that generally co-exist well with residential uses, care has been taken to ensure any potential negative impacts on surrounding residences are mitigated. To provide screening of the facility, an 8' decorative screen wall will be provided around the perimeter of the site. The design of the wall will feature multiple materials including split face masonry, stucco, and a solid cap, with specific colors to be determined during the Site Plan/Design Review phase. Additionally, all storage buildings are setback from property lines by a minimum of 52'6" and landscape setbacks/buffers are provided along all four sides of the property with a minimum depth of 21'6". Within these landscape areas, Mesquite and Ghost Gum trees will be planted at a rate of 9 trees per 100 feet, creating a very dense screen that will obscure views into the facility (Exhibit G). Furthermore, all RV parking spaces are located outside of landscape setbacks and buffers, reducing the potential impacts of engine noise on abutting properties.

The design of the office and storage buildings will be determined during the Design Review process. All buildings will be required to meet Zoning Ordinance and Historic Avondale Design and Development Guidelines and will take on a low profile residential style. Metal buildings are commonly used for mini-storage facilities; if metal buildings are utilized for this development, the City's requirement that, "Buildings with metal or steel exteriors shall be architecturally altered through the construction of veneers, facades, or other architectural treatments to minimize the extent of metal surfaces visible" will apply.

It is anticipated that the facility will be manned from 8:00 A.M. to 6:00 P.M. Customers will be able to access storage units after business hours through a keypad system.

PUBLIC INPUT:

Staff and the applicant conducted a neighborhood meeting to discuss the proposed rezoning and Conditional Use Permit at 6:00 P.M. on Thursday, November 30th in the Lantana Room at the City's Municipal Operations Service Center (MOSC). The meeting was advertised in the November 15, 2017 edition of the West Valley View. A notification sign, containing date, time, and location for the neighborhood meeting, was erected adjacent to Dysart Road on November 15, 2017. Additionally, property owners within 1,000 feet of the subject property were notified of the meeting by via postcards sent on November 9, 2017. With the exception of staff and the applicant, no persons attended the neighborhood meeting.

Postcards notifying property owners within 1,000 feet of the subject property of this Planning Commission meeting were mailed on December 21, 2017. The public hearing notice sign was updated to reflect the date, time, and location of this Planning Commission meeting on December 21, 2017. Additionally, a notice of the Planning Commission hearing was published in the West Valley View on January 3, 2018. As of the writing of this report, staff has been contacted by one property owner seeking additional information on the request.

Four comments related to the proposal have been posted on the City's aVoice forum in response to the question, "What do you think of the proposed RV & Self-Storage Facility on Lower Buckeye Road, west of 4th Street?":

- "I think whenever you can change the zoning from "Manufactured Home Park" to "General Industrial" it's a step in the right direction."
- "Any new business to our City means progress as long as it does not affect public areas, neighborhoods, or traffic."
- "This would be great as long as the charges are reasonable and don't go up every 6-12 months (like the facility we currently use)."
- We should welcome most business ventures. More business leads to additional jobs and a stronger tax base. The administration is making great strides at promoting the Avondale area."

ANALYSIS:

In order to grant a Conditional Use Permit, five findings must be met as outlined in Zoning Ordinance Section 109.B. The burden of proof is upon the applicant. Each finding is presented below along with staff's analysis.

- 1. That the proposed use (a) is consistent with the land use designation set forth in the general plan, (b) will further the City's general guidelines and objectives for development of the area, as set forth in the general plan and (c) will be consistent with the desired character for the surrounding area.**

The subject property is designated as Industrial by the General Plan Land Use Map. The Industrial land use category is intended to accommodate employment generating uses, such as manufacturing, warehousing, and similar uses, in locations where they will generate minimal conflict with existing adjacent uses. The proposed mini-storage and RV parking facility is a low intensity industrial use that will not create conflicts with the surrounding industrial uses to the south and residential uses to the north and east.

Furthermore, industrial facilities and outdoor vehicle storage are not out of character for existing development in the area. The City's Municipal Operations Service Center facility, directly south of the subject property, includes components such as heavy vehicle storage, commercial grade fueling stations, and vehicle repair facilities. The low intensity storage facility will provide an appropriate transition between the industrial uses south of the property and the residential uses north of the subject site.

- 2. That the use will be (a) compatible with other adjacent and nearby land uses and (b) will not be detrimental to persons residing or working in the area, adjacent property, the neighborhood or the public welfare in general.**

Mini-storage is a low intensity industrial use that will be compatible with existing and future residential development in the area. These facilities generate minimal amounts of traffic, do not tax City water and sewer services, and do not create any significant noise or light impact on surrounding properties. Aesthetically speaking, the future facility will be designed to blend in with surrounding residential uses through provision of attractive, residential-style architecture and provision of significant landscaping adjacent to all four property lines. The proposed development and corresponding demolition of the derelict structures on the property will represent a significant improvement over the current condition.

Furthermore, the proposed facility will provide a needed service to existing and future residents in the surrounding neighborhoods in southern and Historic Avondale and planned communities south of Lower Buckeye Road. Development of the subject site for mini-storage will reduce the time and distance that many residents will need to travel to reach a similar facility.

- 3. That the site is adequate in size and shape to accommodate the proposed use, allow safe on-site circulation, and meet all required development standards including, but not limited to, setbacks, parking, screening, and landscaping.**

The proposed development meets standards for setbacks, buffering, parking, on-site circulation, landscaping, and screening prescribed by the Zoning Ordinance. Development of the site per the submitted plan will result in a functional, attractive development that contributes to the local economy and provides a benefit to the surrounding area.

4. That the site has appropriate access to public streets with adequate capacity to carry the type and quantity of traffic generated by the proposed use.

All public access to the facility will be from Lower Buckeye Road, a Minor Arterial street that the developer will be responsible for improving prior to opening the facility. Required improvements include constructing an additional westbound through lane, curb, gutter, and sidewalk south of the property and undergrounding existing overhead powerlines.

A secondary, emergency-only access will be provided to Elm Lane to the north. No public access to the facility from Elm Lane will be permitted, as providing such an access may result in increased traffic on a local residential street. While Elm Lane is currently fully constructed, the developer will install streetlights the length of the property in the first phase of development.

All circulation internal to the site meets City requirements. Drive aisles are sized appropriately to accommodate turning movements of RVs parking on the site and adequate width is provided to allow City fire trucks to enter and exit the site, if necessary. The Fire Department will be provided 24/7 access to the site through provision of Knox Boxes or some other form of gate control.

The proposed plan provides for sufficient access for traffic generated by the use while also incorporating measures to ensure traffic on adjacent local streets is not impacted.

5. That adequate conditions have been incorporated into the approval to ensure that any potential adverse effects will be mitigated.

Nine conditions of approval are recommended, several of which are standard for development of this type (see “Conditions of Approval” section, below).

Condition #1 is a standard stipulation ensuring the proposed use develops in accordance with the conceptual site plan, landscape plan, and narrative provided to the City and attached as exhibits to this staff report.

Condition #2 is a standard stipulation noting that, per the Zoning Ordinance, the Conditional Use Permit will expire within 2 years if the use has not commenced on the property.

Condition #3 is a standard stipulation requiring the developer to process a Minor Land Division to combine the existing three parcels into a single parcel and dedicate right-of-way and easements before a permit will be issued

Condition #4 clarifies that the two existing homes on the northern half of the site that are not affected

Conditions #5 and #6 are routine stipulations require the developer to complete all required improvements to Lower Buckeye Road and Elm Lane in the first phase of development.

Condition #7 is a routine stipulation requiring the developer to underground power lines that run along the southern and western property lines in the first phase of development.

Condition #8 restricts access to Elm Lane to ensure that the proposed facility does not negatively impact the residential character of the neighborhood to the north.

Condition #9 ensures that portions of the property not included in Phase 1 are not used for additional RV parking in the interim.

Conclusion:

Staff recommends approval of this request for the following reasons:

1. The proposed land use meets the five required findings for a Conditional Use Permit in Section 109.B.
2. Approval of the proposal will result in a development compatible with the General Plan, Historic Avondale Design & Development Guidelines, and existing development in the area.
3. The proposed land use will not be detrimental to persons residing or working in the area, on adjacent properties in the neighborhood, or to the public welfare in general.
4. The proposed land use will provide a needed service to current and future residents in the southern portion of Avondale.

Strategic Plan Goals and Objectives:

INITIATIVE: Foster sustainable community development

STRATEGIC GOAL: Maintain and expand quality infrastructure and improve connectivity to City amenities.

INITIATIVE: Encourage and support creative innovation in development and service delivery

STRATEGIC GOAL: Encourage a flexible environment responsive to market trends

REQUIRED ACTION:

Conduct a **public hearing** and determine if this request is in the best long-term interest of the Historic Avondale and consistent with the Goals of the General Plan 2030.

RECOMMENDED MOTION:

I move that the Planning Commission accept the findings and recommend **APPROVAL** of application PL-17-0210, a request for a Conditional Use Permit for a mini-storage facility, subject to nine staff recommended conditions of approval.

CONDITIONS OF APPROVAL:

1. Development and use of the site shall generally conform to the Conditional Use Permit narrative date stamped October 19, 2017, the Conceptual Site Plan date stamped December 21, 2017, and the Conceptual Landscape Plan date stamped December 21, 2017, attached to the staff report as Exhibits E, F, and G, respectively.
2. In accordance with Section 109 of the Zoning Ordinance, the Conditional Use Permit shall expire within two years from the date of approval if the use has not commenced.
3. A Minor Land Division, combining all three subject parcels, and dedicating 50' of total right-of-way on Lower Buckeye Road and any necessary easements, shall be approved by the City and recorded prior to issuance of a permit for the first phase of development on the subject property.

4. Until such time that they are demolished, the existing residences on the subject property shall be considered non-conforming and may not be expanded or altered in any way. Maintenance of these residences shall not be considered alteration for the purposes of this condition.
5. All required off-site improvements to Lower Buckeye Road, to include street lights, shall be completed in the first phase of development prior to issuance of a Certificate of Occupancy or Certificate of Completion.
6. Street lights shall be installed along Elm Lane and all existing driveways along Elm Lane must be removed and replaced with a vertical curb and gutter and sidewalk in Phase 1. A new driveway shall be constructed in line with the emergency access gate as illustrated on the conceptual site plan.
7. All power lines less than 69kV along Lower Buckeye Road and the site's west property line must be converted underground in the first phase of development prior to issuance of a Certificate of Occupancy or Certificate of Completion.
8. No access to the site shall be allowed from Elm Lane, with the following exceptions:
 - a. A secondary access point strictly for emergency access may be provided to Elm Lane.
 - b. Access to the existing residences from Elm Lane may be preserved until such time that the residences are demolished.
9. Pads labeled as "Future Development" shall not be used for RV storage/parking.

SUPPORTING DOCUMENTS ATTACHED:

Exhibit A – Aerial Photograph

Exhibit B – General Plan Land Use Map

Exhibit C – Zoning Vicinity Map

Exhibit D – Summary of Related Facts

Exhibit E – Applicant's Request for Conditional Use Permit Narrative

Exhibit F – Conceptual Site Plan

Exhibit G – Conceptual Landscape Plan

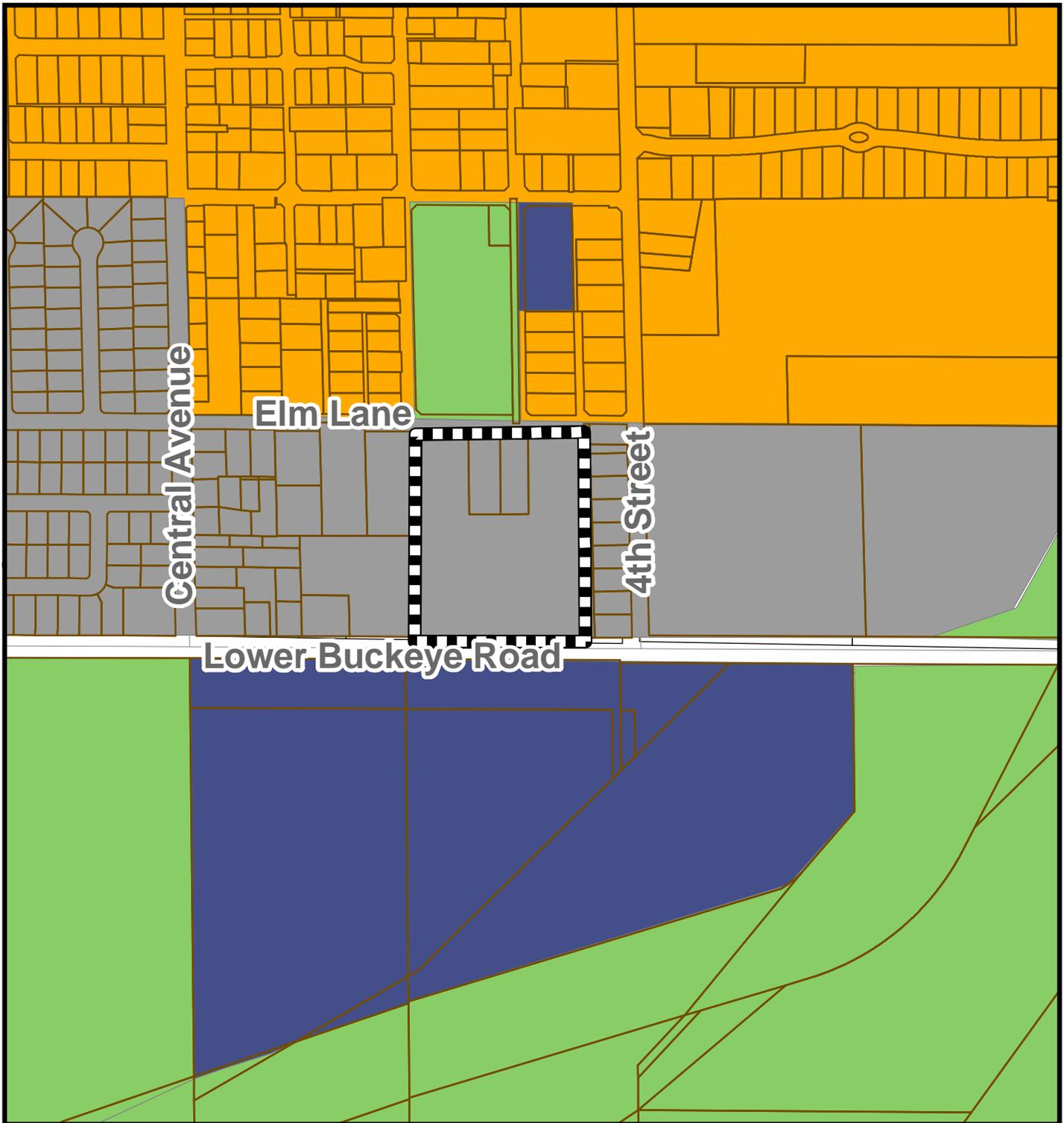


Aerial Photograph



Project Location

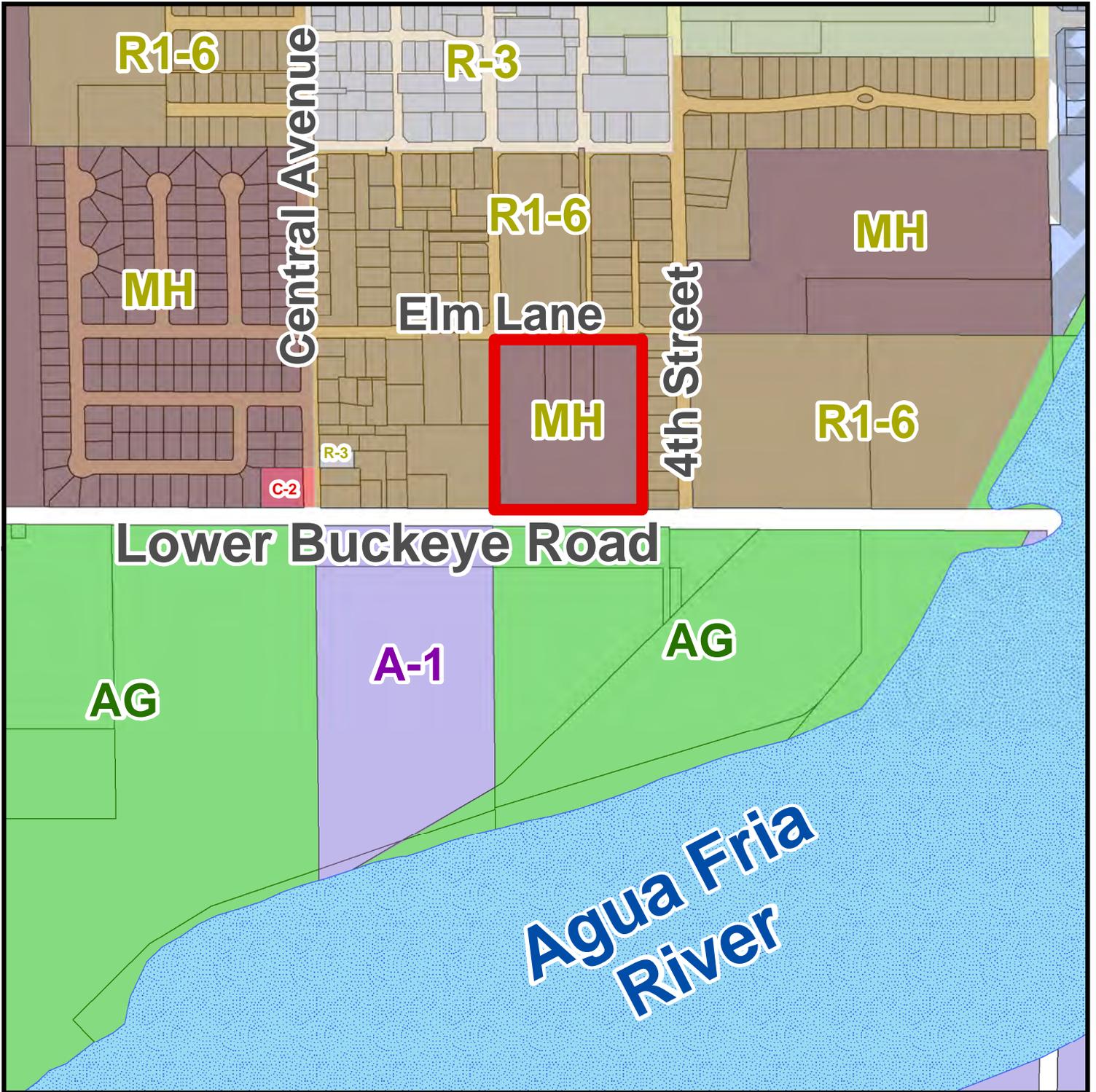




General Plan Land Use Map

-  Industrial
-  Medium Density Residential
-  Public/Civic
-  Subject Property
-  Open Space





Zoning Vicinity Map



Project Location



SUMMARY OF RELATED FACTS

APPLICATIONS PL-17-0209 and PL-17-0210

<i>THE PROPERTY</i>	
PARCEL SIZE	Three parcels totaling approximately 7.7 gross acres
LOCATION	Approximately 144 feet west of the northwest corner of Lower Buckeye Road and 4 th Street
PHYSICAL CHARACTERISTICS	The subject site is rectangular in shape and slopes from north to south.
GENERAL PLAN LAND USE	Industrial
EXISTING ZONING	MH (Manufactured Home Park)
ZONING HISTORY	The property was annexed into the City of Avondale in December 1959 and zoned R-5 (Multi-Family Residence), which at the time allowed a range of commercial, industrial, and residential uses. Upon adoption of the City's new Zoning Ordinance in 1990, the R-5 district was amended to only allow for construction of manufactured home parks. In 2009, the R-5 district was renamed to the MH (Manufactured Home Park) district to better reflect the uses allowed in the zone. The current zoning of the property remains MH.
DEVELOPMENT HISTORY	The property was used for agricultural purposes until the late 1970s, when a greyhound kennel, three single-family homes, and three mobile homes were constructed on the property. The mobile homes were removed from the property prior to 1986 and the kennel ceased operation and was partially demolished in 2013. Today, three single-family homes (two occupied, one vacant) and abandoned remnants of the kennel remain.

<i>SURROUNDING ZONING AND LAND USE</i>	
NORTH OF ELM LANE	The majority of properties north of the subject site are developed with single-family residences on lots zoned R1-6 (Urban Residential, 6,000 square foot lot minimum). Additional land uses to the north include: <ul style="list-style-type: none"> • Mountain View Park, a public park facility run by the City of Avondale • The City of Avondale's Senior Center • Vianney Villas, a 50-unit independent senior living apartment community constructed in the late 1970s. • Rose Terrace, a 60-unit low-income apartment community constructed in 2002
EAST	Nine lots containing single-family residences separated from the subject property by a 16' alley. The lots, most of which were developed in the 1970s, are zoned R1-6 (Urban Residential) and are not a part of any subdivision of record.
SOUTH OF LOWER BUCKEYE ROAD	The City of Avondale Municipal Operations Service Center (MOSC), a public facility housing the City's Public Works Department. The MOSC facility, which was constructed in 2000 and expanded to its current configuration in 2006, is zoned AG (Agricultural).
WEST	Two vacant, undeveloped parcels, zoned R1-6 (Urban Residential).

<i>PUBLIC SCHOOLS</i>	
SCHOOL DISTRICT(S)	Avondale Elementary School District Agua Fria Union High School District
ELEMENTARY SCHOOL	Lattie Coor Elementary School (K-8)
HIGH SCHOOL	Agua Fria High School

<i>ADJACENT STREETS</i>	
Lower Buckeye Road	
Classification	Minor Arterial
Existing half street ROW	33'
Standard half street ROW	50'
Existing half street improvements	One through lane
Standard half street improvements	Two through lanes, half center turn lane, curb, gutter, sidewalk, streetlights, powerline undergrounding, and landscaping
Elm Lane	
Classification	Local Street
Existing half street ROW	25'
Standard half street ROW	25'
Existing half street improvements	One through lane, curb, gutter, and sidewalk.
Standard half street improvements	One through lane, curb, gutter, sidewalk, streetlights, landscaping.

<i>UTILITIES</i>
<p>Water service will be provided to the proposed development by an existing 10" water line in Lower Buckeye Road and an existing 6" water line in Elm Lane. A looped system satisfying fire code requirements will be required.</p> <p>Sewer service will be provided using an existing 10" sewer line in Lower Buckeye Road.</p> <p>APS provides electrical service in this portion of Avondale.</p>

Exhibit E

Applicant's Conditional Use Permit
Narrative

RLeporeArchitecture, LLC

RLeporeArchitecture@gmail.com

13440 North 44th Street, #2031
Phoenix, Arizona 85032

ph: 602.318.0100

November 7, 2017

Mr. Ken Galica
City of Avondale
Development and Engineering Services Department
11465 West Civic Center Drive, Suite #110
Avondale, Arizona 85323-6804

**RE: RV & Self Storage – A Conditional Use Permit Application
Lower Buckeye Road
Avondale, Arizona 85323
Application PL-17-0209**

Dear Mr. Galica:

PROJECT NARRATIVE

1. Consistency with the General Plan and any applicable Specific Plan.

The RV/Self Storage project is a +/- 7.0 acre parcel located west of the northwest corner of Lower Buckeye Road and South 4th Street. The development will include a combination of uncovered Recreational Vehicle Parking and Individual Self-Storage units of various sizes. The project is located in the General Plan 'Industrial District' and as such adheres to the board range of non-residential uses. The project is also located within the boundaries of the Historic Avondale and development will be subject to the Historic Avondale Design and Development Guidelines. This development will adhere to these guidelines.

2. Compliance with the Zoning Ordinance and other city codes and regulations.

The project will be developed in accordance with all City of Avondale city codes and regulations as well as all other regulatory agencies having jurisdiction over the project.

3. General compatibility of proposed use with adjacent property.

The proposed use of this project is in general compatibility with the property to the south which is the City of Avondale's facility to the south. The parcel to the west is presently vacant which also fronts on Lower Buckeye which allows for large vehicle traffic thereby suitable for future commercial development. The adjacent east parcels are single family residences. Some but not all, of these homes are poorly maintained. North of this subject parcel are additional residential homes and a neighborhood park. The self-storage facility will be constructed as a low-profile development which will blend in with the surrounding homes. The low traffic impact of the facility will also assure the existing neighborhoods will not be disrupted with large volumes of traffic and noise.

RLeporeArchitecture, LLC

RLeporeArchitecture@gmail.com

13440 North 44th Street, #2031
Phoenix, Arizona 85032

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4. Site and Building design.

Phase one will develop approximately half of the existing site with a combination of Recreational Vehicle parking and Self Storage units. The building design will consist of a low profile residential style design to conform with the Historic District and adjacent residential properties to the north of this project. Construction of the structures closest to the north property and south property lines will be limited to single-story structures with the buildings in the center of the project being 2-story in nature.

5. Address ingress and egress to the property and proximity to driveways and street intersections in the vicinity of the subject property.

Main access to the development will be off Lower Buckeye Road. A new 50' Right-of-Way will be dedicated to the City of Avondale in fee title via a Final Plat or Minor Land Division. This Right-of-Way will be constructed with all associated development standards during Phase One. One additional gated emergency exit for Fire access only will be provided exiting onto East Elm Lane to the north. The existing single-family residence has a drive which exits onto East Elm Lane which will remain during phase one. The existing driveway connecting the existing residence with Elm to the north will be allowed to remain during phase one. The existing residence and corresponding driveway and curb cut on Elm will be eliminated in phase two.

6. Internal vehicular circulation including emergency and delivery vehicles.

Access to the RV stalls and storage units will be provided a through gated entry. Circulation through the project will be provided by a 28' drive straight down the middle of the development which will allow easy emergency vehicle access through the site. There will also be a 24' drive aisle between the various self storage units and a 28' drive aisle adjacent to all RV parking stalls. One additional gated emergency exit will be provided exiting onto East Elm Lane to the north for Emergency Fire Exiting only.

7. Pedestrian and alternative vehicle considerations for the proposed use.

There is an existing 4' wide sidewalk to the north of the property along Elm which will remain. Owner will repair damaged sidewalk areas has mutually agreed upon between the Owner the City of Avondale. A new 5' wide sidewalk will be constructed adjacent to the new 50' Right-of-Way easement. There will not be any consideration for alternative vehicle parking.

8. Impact on public services, including utilities, schools and recreation.

RLeporeArchitecture, LLC

RLeporeArchitecture@gmail.com

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Due to the nature of this development, there will not be any impact on public services such as utilities, schools or recreation

9. Volume and Character of traffic.

Overall volume of traffic will increase slightly due to the nature of this development. The only change in character of the traffic will be a slight increase in small scale moving vehicles.

10. Off-Street parking and loading

(4) off-street parking stalls will be constructed adjacent to the caretaker structure. Loading for the various storage units will be along the ends of each of the individual structures.

11. Screening and buffering of uses.

The entire development will be screened by an 8' high masonry wall. The wall be constructed with a combination of split-face masonry and masonry inserts with stucco finish. In addition to the masonry wall, additional high, dense landscaping will be incorporated to screen the structures and Recreational Vehicles

12. Proposed outdoor activities or storage.

The only outdoor storage will be the parking of the Recreational Vehicles which will be screened by a combination of the perimeter wall and landscaping.

13. Hours of Operation.

Caretaker will be available from 8am to 6pm. Clients who have contracted to use the Self Storage Units and RV parking stalls will have access through keypad security systems.

14. Exterior Lighting with reference to adjacent properties.

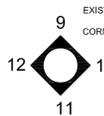
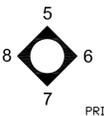
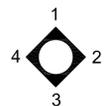
All exterior lighting will be at low heights and will meet minimum lighting levels. All lighting will be not be allowed to spread outside the perimeter of this developments lot lines.

15. Noise, smoke, odor, dust, vibration, or illumination created by the proposed use.

No environmental hazards such as those listed above will be generated by this development.

Exhibit F

Conceptual Site Plan

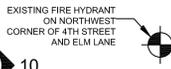


Development to the North

R1-6 ZONING

ELM LANE

PRIVATE ENTRANCE w/ OWNER ONLY ACCESS



RV & Self Storage

Lower Buckeye Road
Avondale, Arizona 85323

Project

Data

EXISTING PARCELS:

Parcel A:
Owner: Nancy L. Schenck
P.O. Box 7813
Goodyear, Arizona 85338

APN: 500-56-026W
Site Area: 22,343 SF (0.513 acres)

Parcel B:
Owner: Nancy L. Schenck
P.O. Box 7813
Goodyear, Arizona 85338

APN: 500-56-026T
Site Area: 20,976 SF (0.482 acres)

Parcel C:
Owner: RNLS Properties, LLC
P.O. Box 7813
Goodyear, Arizona 85338

APN: 500-56-026X
Site Area: 263,082 SF (6.039 acres)
Total Site: 306,401 SF (7.034 acres)

AREA CALCULATIONS:

Phase 1:

Site Area: 306,401 SF
Self Storage Building Area:
Ground Level: 46,850 SF
2nd Level: 28,400 SF
Total Self Storage Unit SF's: 72,250 SF

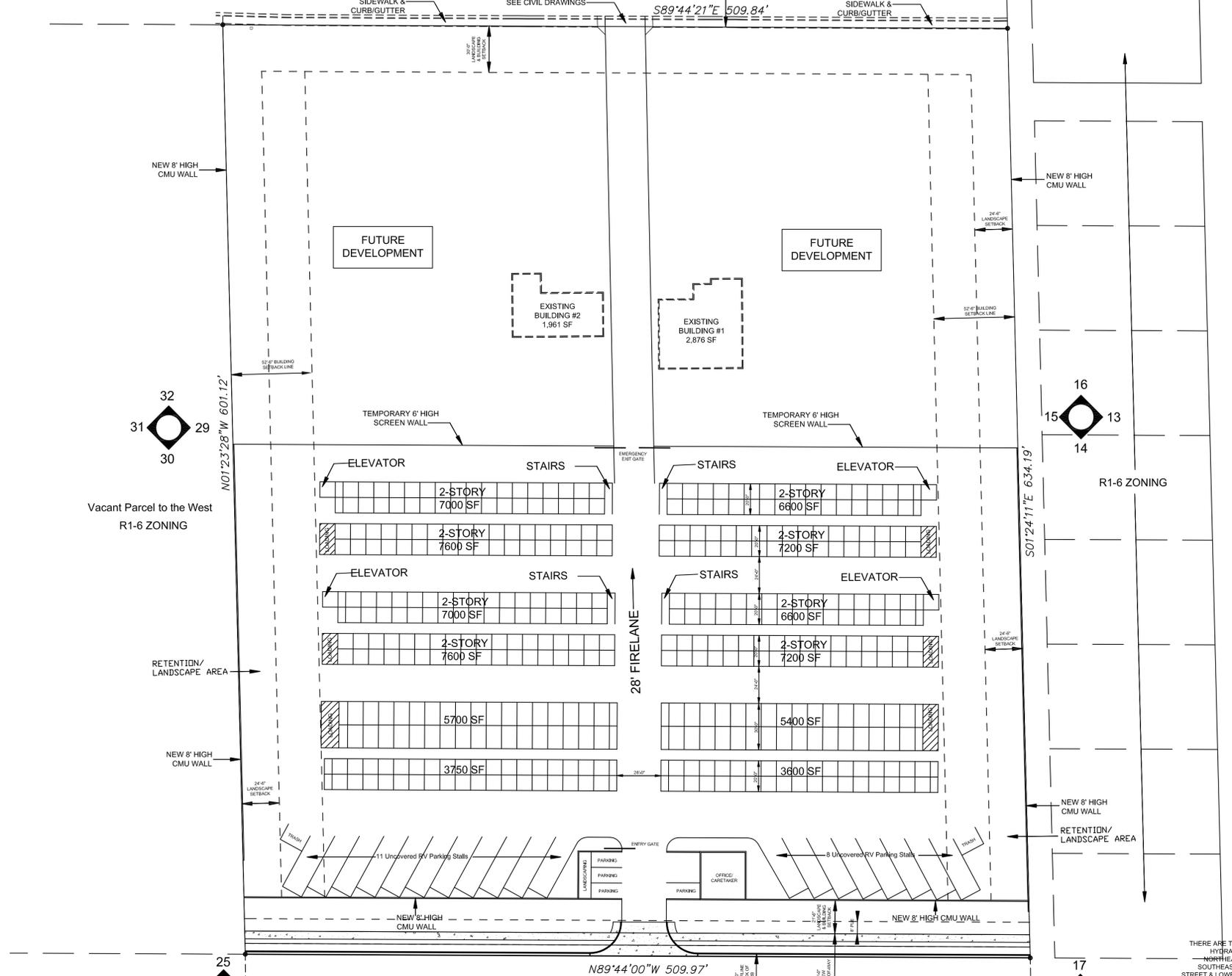
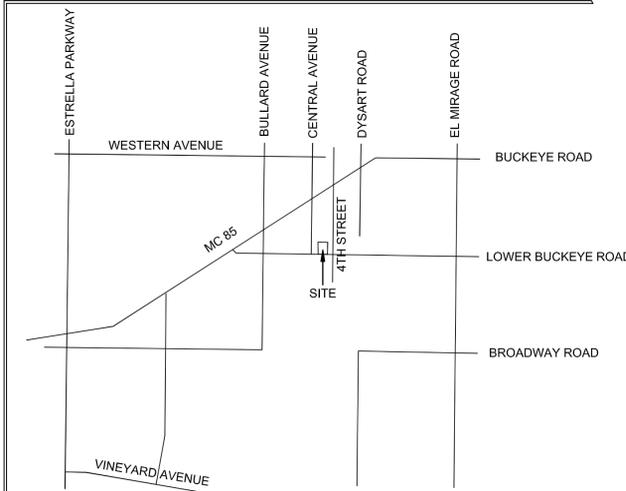
Office: 940 SF
Existing Structures: 4,838 SF

Lot Coverage: 52,628 / 306,401 = 17%

Landscape Area: 29,305 SF on perimeter
Open Air Area: 89,597 SF

Map

Vicinity



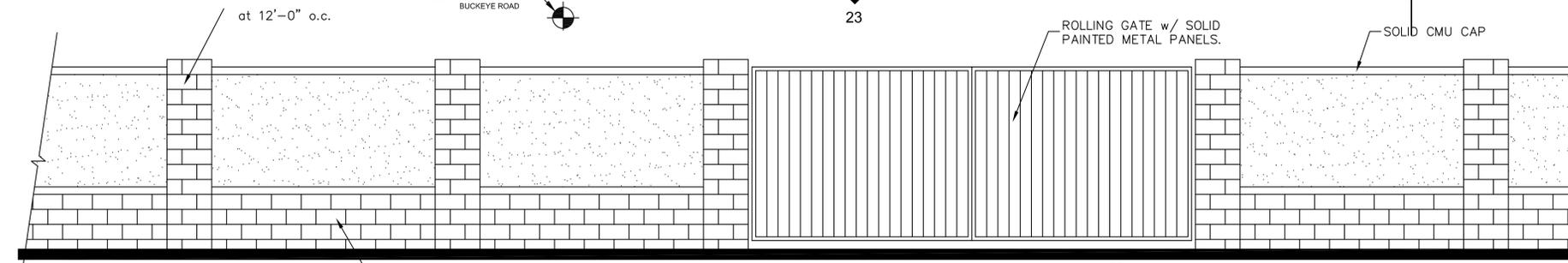
LOWER BUCKEYE ROAD

01 Site Plan (Phase 1)

1"=40'-0"

ROLLING GATE w/ SOLID PAINTED METAL PANELS.

SOLID CMU CAP



02 Perimeter Fence

N.T.S.

R Lepore Architecture, LLC

13440 North 44th Street, #2031
Phoenix, Arizona 85032
ph: 602.318.0100
R Lepore Architecture@gmail.com



RV & Self Storage Facility
390 East Lower Buckeye Road
Avondale, Arizona 85323

Site Plan & Data
A0.0

RV & Self Storage

Lower Buckeye Road
Avondale, Arizona 85323

Project

Data

EXISTING PARCELS:

Parcel A:
Owner: Nancy L. Schenck
P.O. Box 7813
Goodyear, Arizona 85338

APN: 500-56-026W
Site Area: 22,343 SF (0.513 acres)

Parcel B:
Owner: Nancy L. Schenck
P.O. Box 7813
Goodyear, Arizona 85338

APN: 500-56-026T
Site Area: 20,976 SF (0.482 acres)

Parcel C:
Owner: RNLS Properties, LLC
P.O. Box 7813
Goodyear, Arizona 85338

APN: 500-56-026X
Site Area: 263,082 SF (6.039 acres)

Total Site: 306,401 SF (7.034 acres)

AREA CALCULATIONS:

Phase 1:

Site Area: 306,401 SF
Self Storage Building Area: 86,050 SF
Ground Level: 42,600 SF
2nd Level: 42,600 SF
Total Self Storage Unit SF's: 128,650 SF

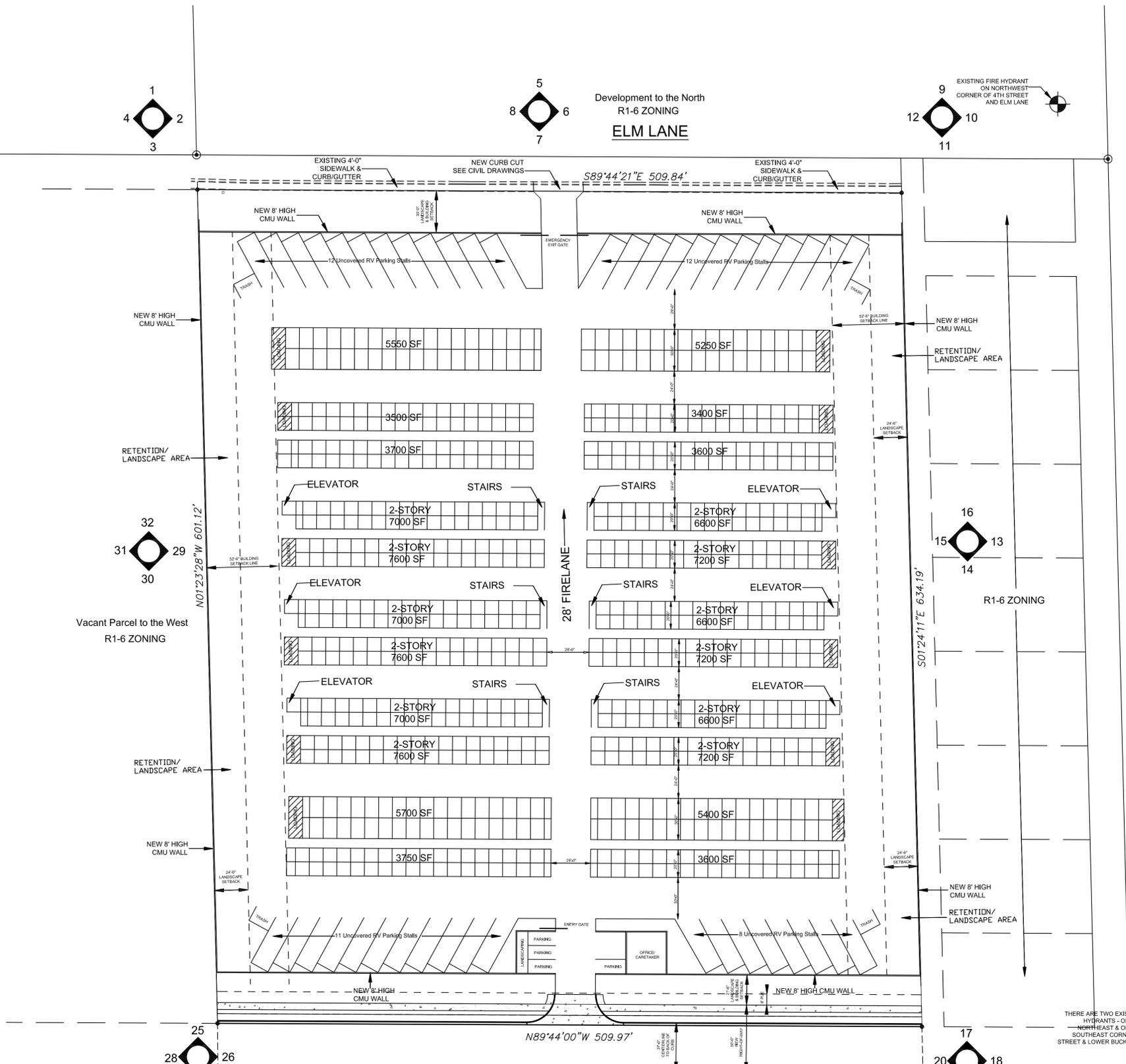
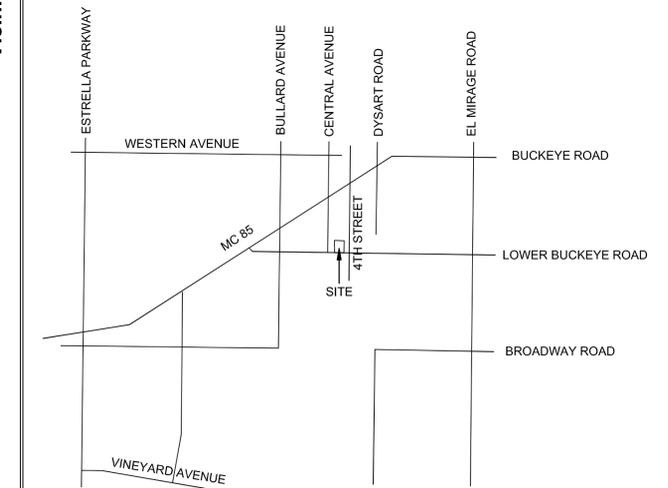
Office: 940 SF
Existing Structures: 0 SF

Lot Coverage: 90,990 / 306,401 = 29.6%

Landscape Area: 29,305 SF on perimeter
Open Air Area: 207,012 SF

Vicinity

Map



01 Site Plan (Full Build Out)
1"=40'-0"

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13440 North 44th Street, #2031
Phoenix, Arizona 85032
ph: 602.318.0100
R Lepore Architecture@gmail.com

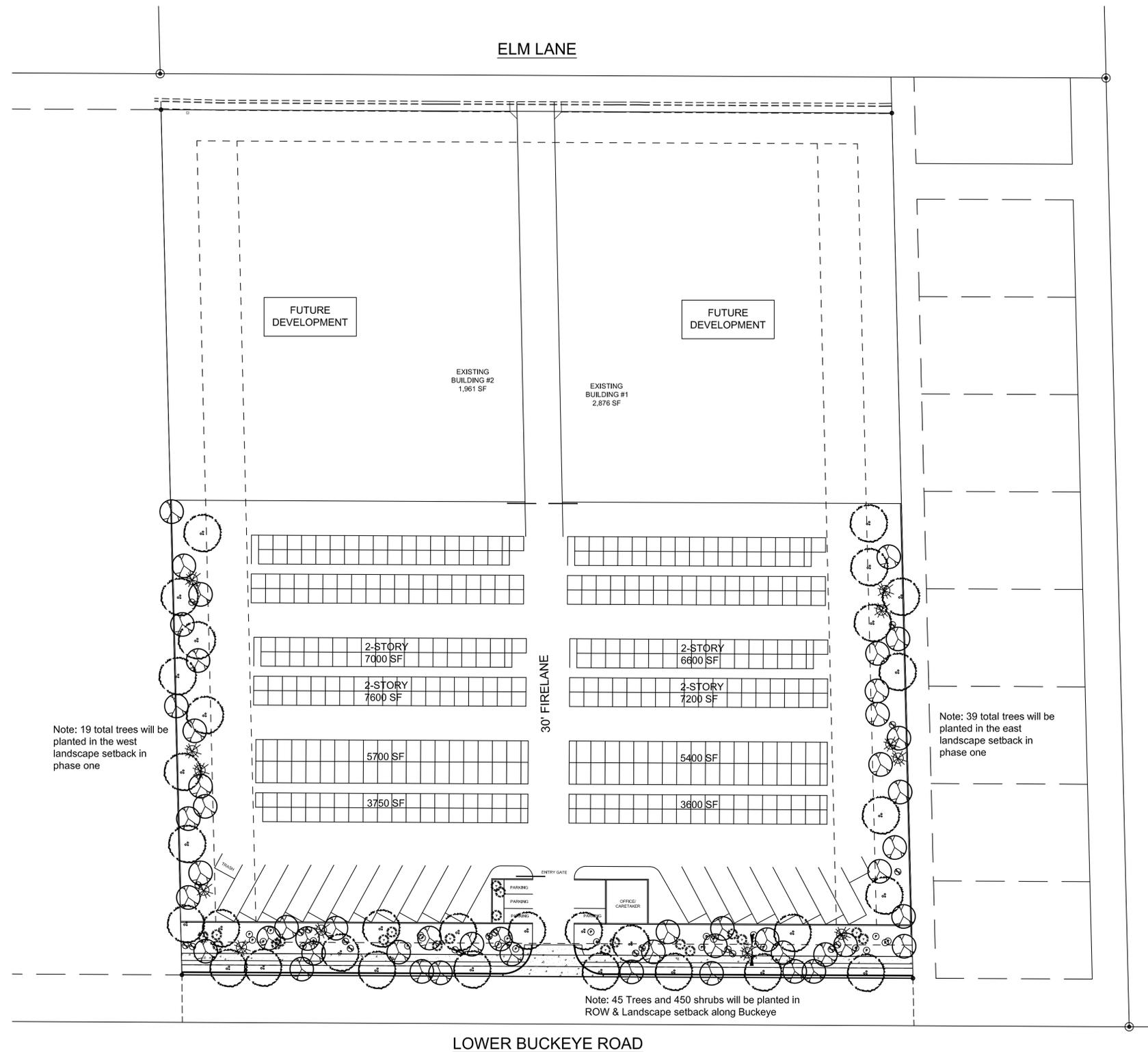


RV & Self Storage Facility
390 East Lower Buckeye Road
Avondale, Arizona 85323

Site Plan & Data
A0.1

Exhibit G

Conceptual Landscape Plan

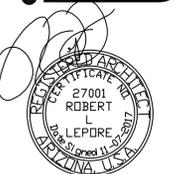


LEGEND

-  (Small & Medium Shrubs)
Eremophila hygrophana Blue Bells
& Euxus microphylla japonica
Green Beauty Boxwood
-  (Cacti / Succulents)
Blue Glow Agave
-  (Ground Cover)
Purple Verbena
-  (Ground Cover)
Purple Trailing Lantana
-  (Coccoloba sparsely)
Ghost Gum
-  (Prosopis juliflora)
Thornless Mesquite

RLeporeArchitecture, LLC

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Phoenix, Arizona 85032
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Expires 12-31-2017

RV & Self Storage Facility

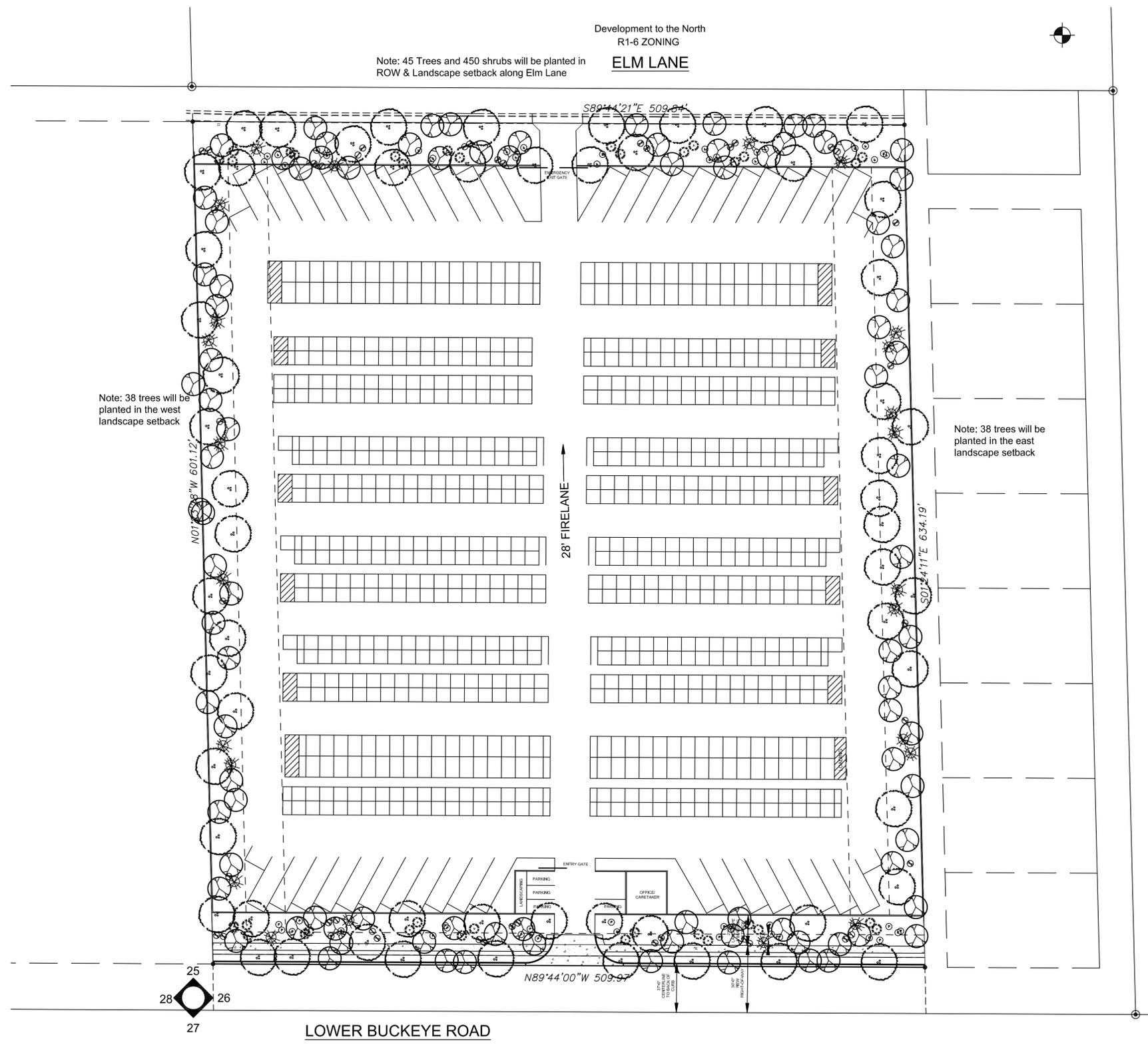
390 East Lower Buckeye Road
Avondale, Arizona 85323

01 Landscape Plan
1"=40'-0"



Landscape Plan

L1.0



LEGEND

-  (Small & Medium Shrubs)
Eremophila hygrophana Blue Bells
& Euxus microphylla japonica
Green Beauty Boxwood
-  (Cacti / Agave)
Blue Glow Agave
-  (Ground Cover)
Purple Verbena
-  (Ground Cover)
Purple Trailing Lantana
-  (Coccoloba sparsely)
Ghost Gum
-  (Prosopis juliflora)
Thornless Mesquite

01 Landscape Plan
1"=40'-0"



R Lepore Architecture, LLC

13440 North 44th Street, #2031
Phoenix, Arizona 85032
ph: 602.318.0100
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RV & Self Storage Facility
390 East Lower Buckeye Road
Avondale, Arizona 85323

Planning Commission Date: January 18, 2018

PREPARED BY: Robert Gubser, AICP, Planning Manager (623) 333-4015

REVIEWED BY: Tracy Stevens, Development and Engineering Services Director
(623) 333-4012

RECOMMENDATION: Presentation and Discussion Only

SUBJECT: Presentation and discussion of a master planned community development proposal for the Lakin Ranch property

PARCEL SIZE: Approximately 1,124 acres

LOCATION: The project site is generally located from Dysart Road to the west to Avondale Boulevard to the east, ¾ mile south of Lower Buckeye Road (Illini Street), and ¼ mile north of Southern Avenue (Sunland Avenue).

APPLICANT: Mr. John Bradley, Brookfield Residential (602) 903-7493

OWNER: Mr. Robert Giocomo, Lakin Cattle Company and Cashion Farms Limited (623) 932-3970

PURPOSE:

Staff will provide the Planning Commission with an overview of the Lakin Properties development plan. The applications consist of a request for a General Plan Amendment, Rezone to Planned Area Development, and a Pre-Annexation Development Agreement. Staff will request input and feedback from the Planning Commission.

BACKGROUND:

The Lakin Properties area (Exhibit A) is one of the largest remaining developable tracts of land available in Avondale, north of the Estrella Mountains. The project site is approximately 1,124 acres in overall area and is bordered by Avondale Boulevard on the east, Dysart Road on the west, Illini Street alignment on the north (approximately ¾ miles south of Lower Buckeye Road), and along the Sunland Avenue/channel alignment to the south (¼ miles north of Southern Avenue). While the project site is currently located within the City's Municipal Planning Boundary, the area has not been annexed and is under the jurisdiction of Maricopa County. The existing zoning for the site is Rural-43 (one-acre, large lot residential) and currently being used in agricultural production. The existing uses of the surrounding properties are as follows:

NORTH: Several existing and proposed single-family developments in various stages of development (Las Ligas, Cantada Ranch, and Fleming Farms). There is an 80 acre SRP switchyard, and several areas that are currently being utilized for agriculture.

EAST: Avondale Boulevard, then a mix of agriculture and single-family residential on larger rural lots. Hillcrest, a fully entitled undeveloped single-family residential development, is approximately one-quarter of a mile east of the project area.

SOUTH: Sunland Avenue alignment, then a combination of single-family residential on larger rural lots and agriculture uses. One-quarter mile south is Southern Avenue, which is anticipated to be the future alignment of ADOT's SR30 freeway (subject to final approval by ADOT).

WEST: Dysart Road, then the City's wastewater treatment plant, the Lakin Milling Company, agricultural uses, and a sand and gravel operation. The Agua Fria River is just west of these uses.

The overall Lakin area has remarkable views of the Estrella Mountains, close proximity to the confluence of two significant rivers in the Gila and Salt, the Base and Meridian Wildlife Area, Monument Hill, ISM Raceway, and Estrella Mountain Regional Park. However, it is also important to note that there are significant physical encumbrances that make the planning and development more problematic for any potential developer. Most significant of these are major overhead power line easements (230 KV and 500 KV, both over 300' wide in many areas) that traverse the site in several locations, floodplains due to the proximity to the river corridors, a future drainage channel (Durango Regional Conveyance Channel), and an approximately 110" wide underground reclaimed water line running the length of the development from east to west that feeds the Palo Verde Generating Station from the City of Phoenix's 91st Avenue Wastewater Treatment Facility. In addition, the site is also located adjacent to the City's wastewater treatment facility to the west of Dysart Road and abutting a sizable SRP switchyard (Rudd substation) along the northern boundary.

Over the years, there have been multiple attempts to develop the property with most requests withdrawn prior to receiving any City Council review and/or approval. The most recent activity was with Sunbelt Holdings in 2014-2015. In September 2015, Sunbelt Holdings received approval for a Major General Plan amendment on approximately 1,179 acres of the Lakin site that reallocated the land uses throughout the site to address their proposed land plan and the multiple large-scale physical encumbrances throughout the site. As part of this GPA, the overall land use allocations were modified to the following (see Exhibit B):

Estate/Low Density Residential: Approximately 427.4 acres of the overall site is designated for Estate/Low Density Residential development. This Land Use Designation requires residential development with a range of **0 to 2.5 dwelling units per acre, with a target density of 1 dwelling unit per acre.** The General Plan states that these residences are, "typically large, detached estate or executive-type homes of one or two stories with significant privacy and open space that reside among open areas, near the panoramic views of the Estrella Mountains and Gila River, and seek an equestrian lifestyle." It was determined during the GPA review, that the power line corridor would be a viable location to transition from one type of density to the another.

Medium Density Residential: Approximately 679.4 acres of the property are designated for Medium Density Residential development. This Land Use Designation requires residential construction with a range of **2.5 to 4.0 dwelling units per acre, with a target density of 2.5 dwelling units per acre.** The General Plan states that this category is intended to provide for "a suburban lifestyle with planned detached single-family residential communities with larger setbacks and neighborhood facilities." The Medium density residential was anticipated to be the

predominate land use throughout the community and allow for the typical subdivision patterns that we see in many of the proposed and existing developments throughout the City.

Medium/High Density Residential: Approximately 53.8 acres of the property are designated for Medium/High Density Residential development. This Land Use Designation requires residential construction with a range of **4 to 12 dwelling units per acre, with a target density of 4 dwelling units per acre.** The General Plan states that this category is intended to provide for “a combination of single-family attached, detached, and townhomes, or condominiums, patio homes, and casita housing choices.” It is also intended that these housing types should be in an area that has substantial open space to support various recreational amenities as the amount of private open space would be limited in this residential product type. The Medium/High category was located in several locations both south and east of the Rudd substation effectively creating a higher intensity residential land use buffer between the substation and the Medium Density residential land uses.

Local Commercial: Approximately 19 acres of the property adjacent to Avondale Boulevard, just south of Broadway Road, are designated for Local Commercial development. This category is intended to provide for the daily needs of goods and services to residents residing within the surrounding area.

Coupled with the land use modifications, a companion request to slightly modify the roadway alignments of Broadway Road and El Mirage Road to better fit Sunbelt's land plan were approved. Based on the aforementioned General Plan Amendment, the underlying land uses would permit the following number of target and total residential units over the 1,179 acre site.

- Estate/Low Density: **427 acres / total target units = 427 / total unit maximum = 1,068**
- Medium Density: **680 acres / total target units = 1,700 / total unit maximum = 2,720**
- Medium/High Density: **54 acres / total target units = 216 / total unit maximum = 648**
- Local Commercial: **19 acres**
- Total Target Residential Units Overall = **2,343**
- Total Residential Units Maximum = **4,436**

As part of their proposed Planned Area Development application, the total residential unit count with the Sunbelt proposal was for 2,600 residential units or capping out at 2,750 units if they included an active adult portion. Staff had been working very closely with Sunbelt to complete their PAD application. Coupled with the PAD, staff was also working with Sunbelt to draft a Pre-Annexation Development Agreement (PADA), and had primary discussions to establish a Community Facilities District (CFD) to address alternatives for financing of improvements within the Lakin Ranch development. Sunbelt withdrew their application for rezoning prior to holding any public hearings.

Brookfield Residential

Brookfield is a North American land developer and home builder with operations in 12 U.S. markets. In early 2017, the City's Development and Engineering Services staff began meeting with the Brookfield Residential development team in order to restart the Lakin development. Since March, meetings have occurred on a weekly basis in an effort to address the potential development of the site, identify possible solutions to overcome the physical encumbrances on the site, traffic and circulation alignments, land uses, residential densities, open space programming, school locations, and the overall entitlement processes.

DETAILS OF REQUEST:

The following applications were submitted by Brookfield Residential on September 14th:

Application PL-17-0221 - Pre-Annexation Development Agreement that outlines terms and conditions associated with the future annexation and development of the site.

Application PL-17-0222 - Minor General Plan Amendment to modify the language associated with classification of minor and major GPAs when associated with a large scale Planned Area Development (see GPA exhibit). First review comments were provided to the applicant on October 13, 2017 (revised November 2, 2017). Staff has signed off on the request as submitted and no additional revisions were required.

Application PL-17-0223 - Rezone to Planned Area Development to assign the development standards to the overall site. The PAD includes allowable land uses, setbacks, overall design characteristics and community theming, identifying open space amenities, street classifications, and a sign and wayfinding program (see PAD 1 and 2 exhibits). First review comments were provided to the applicant on October 13, 2017 (revised November 2, 2017). The applicant made their second submittal of the PAD on December 14, 2017. At the time of this report, staff was in the process of completing the second review.

Future applications will include annexation and a request for the establishment of a Community Facilities District to create a funding mechanism for future improvements within the master-planned community to include a Community Park.

The required civic engagement components including site postings, neighborhood meetings, and property owner notifications will occur later in process as details of the project and initial staff review comments are addressed.

Pre-Annexation Development Agreement (PADA) -

Arizona Revised Statute 9-500.05 authorizes a City to enter into a Development Agreement with a property owner for the purposes of establishing: 1) The terms of the agreement; 2) the permitted uses and development standards for the property; 3) the density and intensity of uses and the restrictions applicable to development of structures on the property; 4) the conditions, terms, restrictions and requirements for annexation of County property by a City; 5) the conditions, items, restrictions and requirements for public infrastructure on a property, and the funding of said infrastructure; and 6) providing for other matters relating to development of the property.

Pre-Annexation Development Agreements are used quite frequently when large, master planned developments are being contemplated on land that is not yet annexed within a City's Corporate Limits. As it relates to the Lakin development, the proposed PADA will address such issues as effective date and terms of the agreement, the development process and necessary approvals, annexation procedures and initial zoning designations, dedications and exactions, timing of public infrastructure improvements, development impact fees, surface and irrigation water rights, and other various obligatory items. Staff is working closely with our City Attorney to review the submitted PADA.

General Plan Amendment -

The current General Plan land use designations for the site are shown on Exhibit B. Brookfield has submitted a GPA text amendment that would modify the overall GP language to allow for the existing land uses to be "blended" or reallocated throughout a development when they are located within the boundaries of a PAD. The end product will no longer need to meet the underlying land use category as long as the overall density or unit count for the entire development is not exceeded. This would allow for the project to be developed in an organic nature that would be reflective of the market and development patterns anticipated by the developer. This proposal creates an effective tool to create flexibility within

the development pattern for large scale developments as long as the overall development still accommodates the planned residential density and character defined by the land use categories. The exact implementation of this is discussed further in the rezoning section. It should be noted that the proposed GPA would not pertain only to the Lakin project and may eventually impact both existing (but not developed) and proposed PAD's in the City.

Planned Area Development -

Residential

As proposed, the PAD (see attached) includes a request for up to 3,695 residential units on the 1,124 acre property. The slight variation in overall size from the Sunbelt proposal (1,180 acres) is based on the removal of a 56 acre site owned by Tolleson Unified High School District along Dysart Road (school siting will be addressed later in the report). The lot sizes will range from a minimum size of 1,000 sf for the higher density product to a maximum size of 1 acre in the lowest density category. The predominate land use will be medium low to medium high density residential with lots ranging in size from 2,500 sf to 9,000 sf. Brookfield is requesting the ability to create a land use budget (Page 44 of the PAD) to address allocation of residential units throughout the community.

The overall development will be broken up into four Planning Units (Southeast, Northwest, Northeast, and Southwest). Each of these units will designate a percentage or range of certain residential land use categories to be used throughout the unit. For instance, the Southeast unit (includes the initial phase of development for the project) will maintain total number units of 1,190 that will not be exceeded. The lots sizes will range anywhere from 10-20% as low density up to 0-5% in the high density category. Since there is a min to max of 0-5% in the high category, the developer may choose not to construct any higher density project in the Southeast planning unit. The remaining three units will follow a similar residential unit allocation process. This type of land use budgeting allows for flexibility in the development process and allows the developer to react to market trends throughout the life cycle of the project.

The proposed development standards (Page 96 of the PAD) for the residential product include requirements such as setbacks, minimum lot width, lot coverage, maximum height, and minimum off-street parking. Parking setbacks will 20-feet to face of garage which should alleviate the issue with any large vehicles overhanging the sidewalks.

Commercial

Commercial activity will be limited to Avondale Boulevard, with one 16 acre commercial parcel north of Broadway Road. The PAD (Page 97) details that any future development of the site will closely follow the City's C-1 zoning districts standards and uses and adhere to the City's Commercial Design Guidelines. The commercial will be held under separate ownership and will not be developed by Brookfield Residential.

Schools/Public Facilities

It is anticipated that there will be one or two Littleton Elementary School District site centralized within the community. Although there is no high school anticipated with this project, Tolleson Unified retains a 56-acre parcel for a future high school along Dysart Road if needed. Previous iterations of the land plan had the high school site on the east side of El Mirage Road at the north entrance to the development. Based on discussion between the school district and the developer, it was determined that this is not the best site for a high school and the school district may not need a high school in this area at all.

Adjacent to the 16 acre commercial parcel is a 4.15 acre planned public safety facility site. There were various sites proposed for the facility, but these sites were ruled out due to odd parcel shapes that limited the development potential and proximity to the powerlines. The proximity to the power lines was a concern to the Fire Department due to the potential of interference with their communication equipment. The site along Avondale Boulevard removed the majority of the powerlines from the equation and the rectangular shape lot is easier for site planning.

Design/Theme

Brookfield has devoted a substantial portion of the PAD establishing the overall design theme and guidelines for the project. The pictures illuminate the desired feel for the individual streets, neighborhoods, parks, and the development as a whole. The wide range in architectural home styles will create a varied street presence and reduce the uniformity exhibited in the typical suburban residential development.

During the first review of the PAD, staff expressed concern that the way that the design criteria is written does not provide specific or substantive criteria for evaluation purposes during review. While the imagery provide is an effective way to sell or market the overall development, they are very limiting in terms of enforcement during the review process. The second submittal of the PAD looks to alleviate staff's concerns. Staff will continue working with the Brookfield team throughout the process to revise the design guidelines to ensure they are written in a manner that will guarantee a high quality development with an architecturally diverse housing stock.

Open Space

The open space framework anticipates several varying levels of open space from a large community park at 30 acres, stepping down to three 3 acre neighborhood parks, smaller 1/4 acre formative parks will be scattered throughout the individual residential development units. The neighborhood parks will have varying amenities that are each specific to the location of park in the community. The parks plan shows these areas to include a small pool, multi-purpose lawn areas, age appropriate playgrounds, open air ramadas, plaza space, community garden, and amphitheater.

The community park will be City-owned and maintained. Brookfield Residential is proposing the assist in the funding and development of the park which will be addressed through the Pre-Annexation Development Agreement. Throughout the various pre-development meetings with staff, multiple options for park amenities were discussed. The planning for the community park will continue throughout the review process.

The neighborhood parks throughout the development will have individualized programming based on the adjacent neighborhood and will have specific names such as "The Kick Stand", "The Yard House", and "The Beacon". The PAD outlines design concepts and character imagery to provide a visual reference of the "design intent and aspirations for the neighborhood parks." The Beacon park is expected to be developed during the first phase of the project and is anticipated to include a pool, several ramadas scattered throughout the park, half-court basketball, a multi-purpose lawn, and an area for parking.

The formative parks will be strategically located and constructed within the individual neighborhoods with the intention of creating a centralized gathering area for families and a unique identifier for the residents. Several of the earlier comments from City Council, including enhancing visibility into the park from adjacent homes, and removing retention from the parks appear to have been addressed in the second submittal of the PAD.

Trails

The parks will be interconnected via an anticipated 9.6 miles of trail connections along the utility easements (power line and effluent corridors) and the 8-foot meandering trail along the collector streets. There are no trail cross-sections proposed for the utility easements within the PAD, although the South End Connector Trail is stated to be a 6-foot wide concrete trail. Staff will require further refinement of the trail requirements throughout the community.

Traffic/Circulation

The traffic and circulation plan proposed for the project is a significant modification to the existing and planned alignments for El Mirage and Broadway Roads. Brookfield is proposing to create an enclave type development with major access to the development provided from only two locations, west from Broadway Road and south from El Mirage Road. These two streets will link up effectively transitioning to each other in a curved alignment. With these revised alignments, there will no longer be thru access south on El Mirage Road to Southern Avenue. Brookfield is proposing a managed access south on El Mirage Road to support ISM Raceway traffic only. The details of this access point are still to be determined as Brookfield continues to work with the raceway representatives. Several minor collectors will connect to the Broadway/El Mirage parkway creating a looped access to the remainder of the community. Limited residential access will be provided to Dysart Road.

The Broadway & El Mirage street will be classified as a major collector with a section total of 100' of right-of-way. This will include two 12-foot lanes in each direction, a 14-foot landscaped median, bike lanes, varying width landscape areas at the back of curb, 6-foot sidewalk on one side, and an 8-foot meandering sidewalk on the other. There is a 15-foot landscape buffer proposed on either side of the right-of-way.

The "Greenway" or minor collector that will provide a looped access to the areas west and south of El Mirage and Broadway will be an 80-foot right-of-way. There will be a single 12-foot lane in each direction with a 14-foot turn lane in the center. There will be 4-foot bike lane in either direction. Sidewalk and trail will be the same as the major collector at 6-feet and 8-feet, respectively.

The residential streets will be a modified public street with a 50-foot right-of-way. 16-foot travel lanes in either direction with a total width of 32-feet back of curb to back of curb. There will be a 5-foot wide attached sidewalk is located on either side at the back of the curb. This method of attaching the sidewalk will help to address an area of concern where cars may overhang the sidewalk when it is detached.

The applicant is also proposing a 50-foot wide private street section. This will have a 24-foot wide two-way travel lane with a 1'-6" ribbon curb (a concrete border at the same grade as the adjacent pavement and sidewalk). 5-foot wide sidewalks are at the back of each ribbon curb. The private street section will have some issues to work out. Namely, how will street runoff be conveyed to the nearest retention basins with no rolled or vertical curb. Also, what prevents parking on the sidewalk if it is in the same plane as the pavement and ribbon curb. Several areas in the Medium Density Residential and Medium-High Density Residential may utilize an alley loaded product. The PAD outlines a 20-foot wide paved area to allow access in this product type.

Representatives from ISM Raceway were notified of the modification to the El Mirage Road alignment early on in the process and had expressed their displeasure with the situation and the potential loss of an access to the racetrack. El Mirage Road is used as a secondary access to and from the racetrack and it is critical to the emergency management for the overall operations. It is staff's understanding that ISM has not expressed support for Brookfield's revised proposal that provides a temporary connection on El Mirage

Road south through the Lakin development during race events. This continues to be a substantial concern to staff that this issue has not been fully resolved considering ISM Raceway's vocal opposition to the initial land plan. With that said, this issue may simply be a timing issue that will be resolved when/if the SR-30 is fully built. Based on the plans presented for the "hybrid" alignment for the SR-30, the only traffic interchanges will be at Dysart Road and Avondale Boulevard. The construction of the SR-30 will potentially alter the circulation patterns associated with ISM Raceway and race events allowing for patrons to access SR-30 and head east to the 202 or west to the 85 and potentially relieving the need for El Mirage Road to serve in its current capacity thereby making Brookfield's proposal viable, subject to an interim solution agreeable to all parties.

Drainage

As mentioned in the background section, there is a significant floodplain issue associated with this site that stems from the proximity to the Gila River and Buckeye Feeder Canal (east side of Avondale Boulevard). Most of the Lakin site south of the Broadway Road alignment is currently located in a FEMA floodplain. Brookfield will be responsible to create a solution by removing these areas out of the floodplain through a series of Letters of Map Revision (LOMR) and Conditional Letters of Map Revisions (CLOMR). It is anticipated that the developer may import fill material to raise the areas out of the floodplain. The City has hired a consultant from the 2016-2017 Profession Consultants Selection (On-call) List to review Lakin's LOMR, CLOMR and Master Drainage Report.

Another aspect of the project is accommodating the anticipated Durango Regional Drainage Channel (DRCC). This is a Maricopa County Flood Control District (FCD) regional drainage solution to address flooding issues identified in the Durango Area Drainage Master Plan. The master plan identified a regional channel, the DRCC, in the vicinity of the Buckeye Feed Canal that would intercept storm flows and provide an outfall to the Agua Fria River. The main purpose would be to reduce flooding hazards in proximity to the Buckeye Feeder Canal. The previous Lakin development proposal had shown the DRCC traversing the site from the northeast corner to the southwest corner. In certain areas, the DRCC would be a minimal ditch to accommodate the necessary flows, and in other more centralized areas of the development, it would be a wider, more enhanced open space area/amenity. The overall costs of constructing the DRCC would have been a 50/50 cost share between the developer and the FCD.

The current proposal is anticipating that the DRCC will remain on the east side of Avondale Boulevard, alongside the existing Buckeye Feeder Canal, and then traversing west just south of Atlanta Avenue and heading west to the Agua Fria River alongside the Buckeye Feeder. This future alignment could be on the Lakin site and Brookfield is anticipating this by setting aside a corridor along the southern boundary to accommodate any future requirements for the DRCC.

Phasing

Based on the PAD, the project will be broken into 7 overall phases. The first phase is anticipated to be west of Avondale Boulevard, south of Broadway Road.

Community Facilities District -

As noted, Brookfield Residential is anticipating the submittal of a request to establish a Community Facilities District to create a funding mechanism for future improvements within the master-planned community.

The Arizona Community Facilities District Act became effective in 1988, allowing a municipality, on petition (request) of property owners, to establish a Community Facilities District (CFD) to finance and

provide public infrastructure, such as water, sewer, schools and streets, within a defined area, i.e. the "District".

A CFD is a special purpose, tax levying public improvement district of the State of Arizona which may only be located within the corporate boundaries of a municipality causing its creation. The Act allows the City to deal with the costs of new growth through public financing mechanisms that assess only the lands and landowners that benefit from the specific improvements, infrastructure or enhanced municipal services provided by the District.

Owners of at least 25% of the land area in a proposed district petition the City Council for formation. The City Council then performs as the Board for the District. Financing may take the form of general obligation bonds, revenue bonds or assessment bonds within the improved area, or through the levying of a maintenance and operation property tax. With the issuance of bonds, they are repaid either with ad valorem taxes levied directly on the property within the CFD or with assessments applied against property benefited by the improvements.

Aside from nominal costs the City may incur based on intergovernmental agreements to administer CFDs, the City has no liability for CFD bonds, though a default or failed project could have lasting consequences on the City's own bonding program and standing in the debt markets.

The Act was modified by Senate Bill 1480, signed by Governor Ducey in April, 2017. The modifications to the CFD Act require timely processing of CFD applications by municipalities, issuance of written reasoning by a City in the event that a proposed CFD is denied, addition of two CFD board members chosen by the largest landowner within the CFD, limiting the maximum application fee for CFDs, and timely acceptance of infrastructure improvements financed and constructed by the CFD. Additionally, the amended CFD act prohibits jurisdictions from requiring the set-aside of additional general obligation bonding capacity once a developer has completed the infrastructure necessary for the project.

As it relates to the Lakin Ranch development, the previous applicant, Sunbelt Holdings, was pursuing a CFD as a mechanism to fund construction of arterial and collector streets adjacent and internal to the development, the community park, lift stations to provide sewer service to the development, and the Durango Regional Conveyance Channel. An application for a CFD was not submitted.

It is anticipated that Brookfield Residential will be submitting an official application for a CFD in the near future. The exact details of that request and what improvements would be financed through the CFD will be forthcoming. However, since the General Plan, Development Agreement, Annexation, and rezoning are planned for April, 2018 City Council consideration, and the City is required under the CFD Act to process it in a timely manner, staff has requested that Brookfield not submit the CFD application until February/March of 2018. This will be the first CFD the City has ever processed.

PUBLIC INPUT:

As noted above, the required civic engagement components including site postings, neighborhood meetings, and property owner notifications will occur later in process as details of the project and staff review comments are addressed. Staff has identified the following schedule for public meetings for the Lakin project -

October 2, 2017 – City Council Work Session

January 18, 2018 – Planning Commission Work Session

February 2018 – Neighborhood Meeting (Date TBD)

February 20, 2018 – City Council Work Session #2

March 15, 2018 – Planning Commission Public Hearing [GPA, PAD, and Pre-plat (if ready)]

April 16, 2018 – City Council Public Hearing [Annexation, PADA, CFD, GPA, PAD, and Pre-plat (if ready)]

Approximately 430 property owners are located within the 1,000 mailing radius for this proposal. At the time of public notification, all property owners will be sent a postcard informing them of the application for the PAD.

RECOMMENDED MOTION:

This item is for presentation and discussion only

DOCUMENTS ATTACHED:

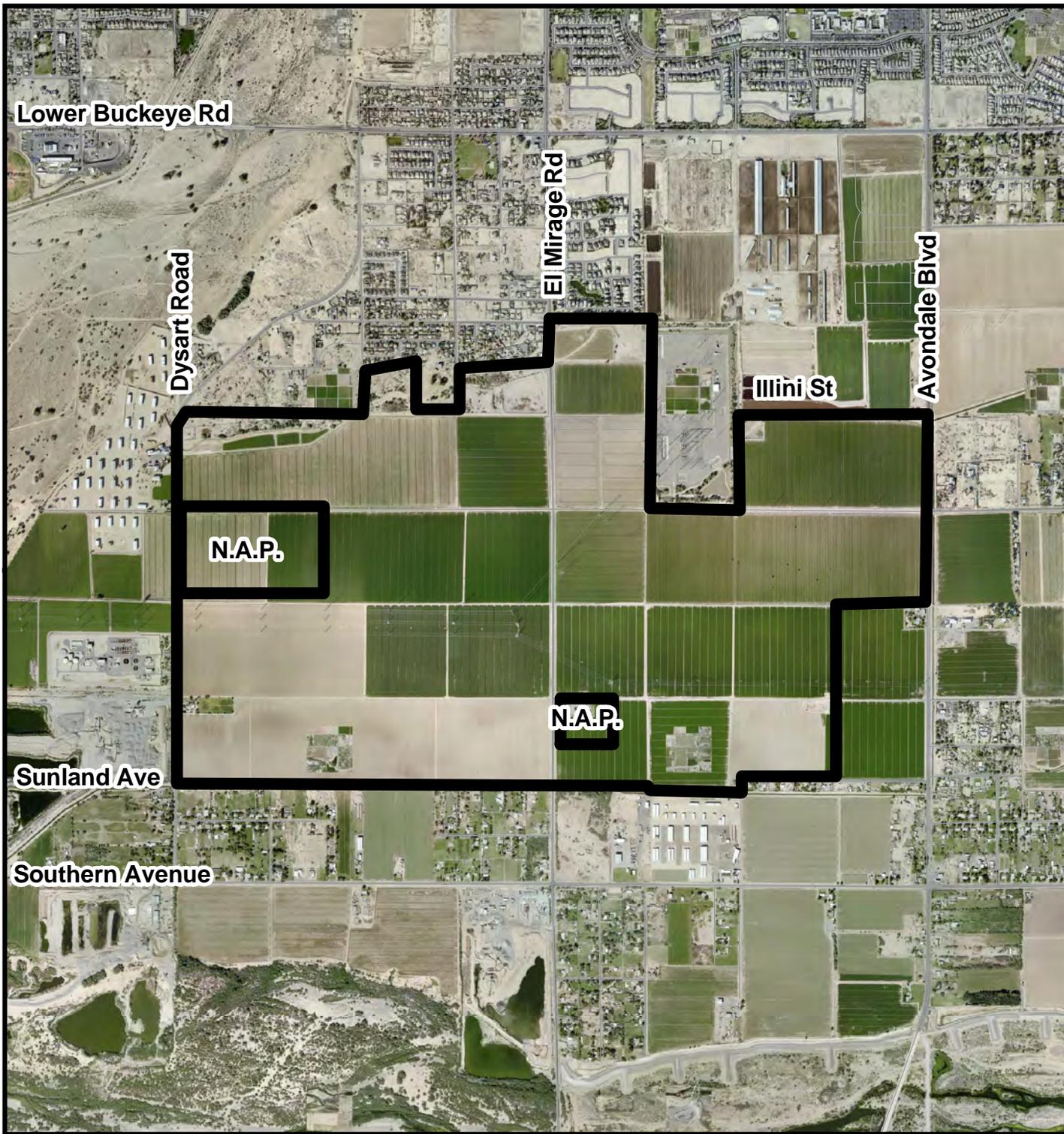
Exhibit A – Aerial Vicinity Map

Exhibit B – General Plan Land Use Map

Exhibit C – Project Narrative

Exhibit D – General Plan Text Amendment Request

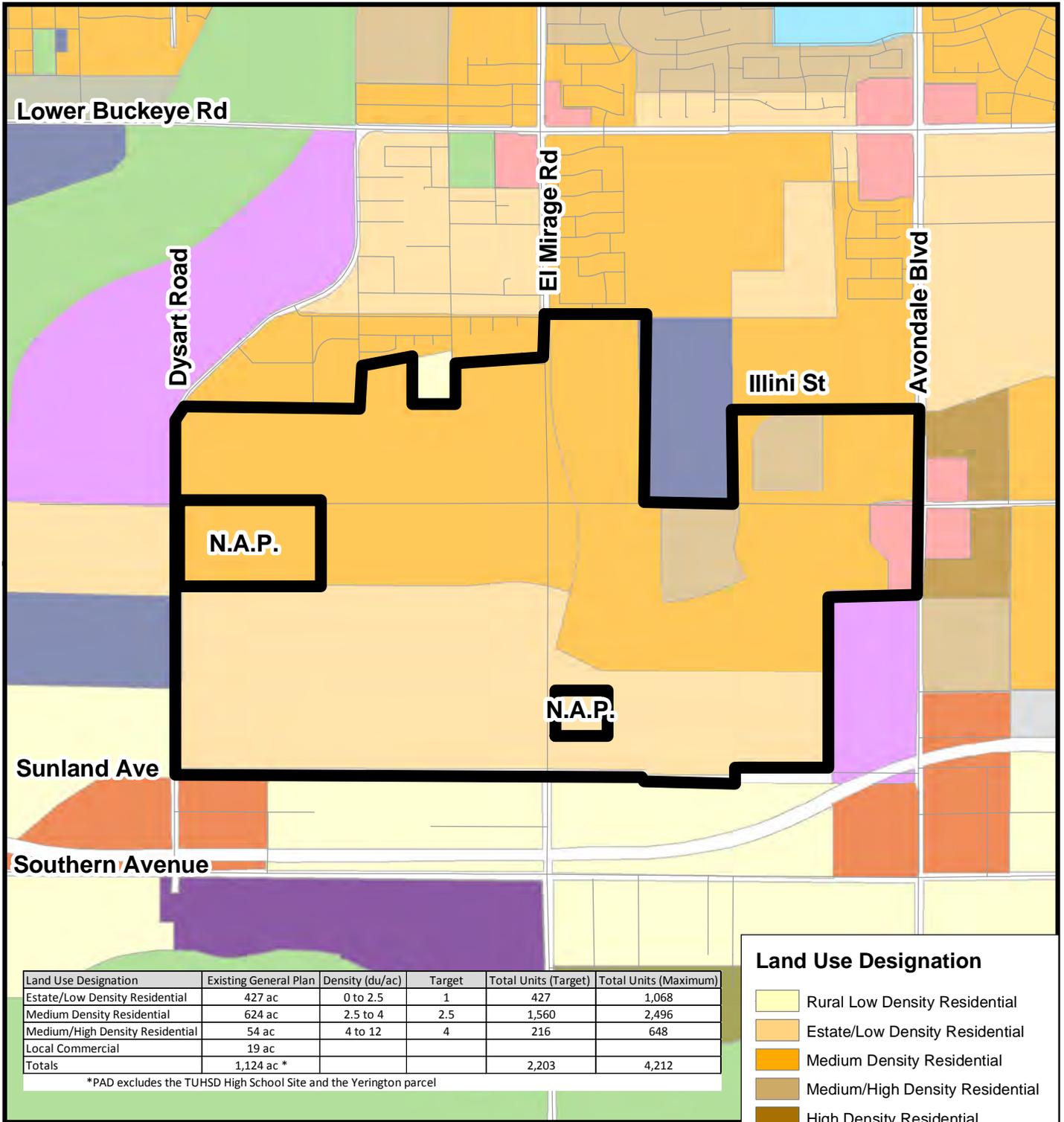
Exhibit E – Lakin Property Planned Area Development



Aerial / Location Map



Subject Property



Land Use Designation	Existing General Plan	Density (du/ac)	Target	Total Units (Target)	Total Units (Maximum)
Estate/Low Density Residential	427 ac	0 to 2.5	1	427	1,068
Medium Density Residential	624 ac	2.5 to 4	2.5	1,560	2,496
Medium/High Density Residential	54 ac	4 to 12	4	216	648
Local Commercial	19 ac				
Totals	1,124 ac *			2,203	4,212

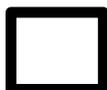
*PAD excludes the TUHSD High School Site and the Yerington parcel

Land Use Designation

- Rural Low Density Residential
- Estate/Low Density Residential
- Medium Density Residential
- Medium/High Density Residential
- High Density Residential
- Local Commercial
- Freeway Commercial
- Office/Professional
- Industrial
- Mixed Use
- Corporate Park
- Gila River Scenic District
- Open Space and Parks
- Public/Civic
- Education



General Plan Land Use Map



Subject Property

Lakin Property
City of Avondale
PAD Rezoning Application
Project Narrative

Prepared for:
Brookfield Residential (Arizona) LLC ("Brookfield")
Contact:
John Bradley
14646 N. Kierland Blvd. Suite 270
Phoenix, AZ 85254

September 14, 2017

Introduction:

Brookfield Residential (Arizona) LLC (“Brookfield”) has entered into an agreement with Lakin Cattle Company (“LCC”) and Cashion Farms Limited Partnership Properties (“CFLPP”) to purchase approximately 1,128 acres of land located west of Avondale Boulevard, north and south of the Broadway Road alignment (the “Property”). Brookfield has submitted a Planned Area Development Rezoning application for the purpose of developing a master-planned community on the Property (“PAD”).

The project is envisioned as a connected, integrated and holistic master plan that will result in a very strong identity. Brookfield believes that this is a unique opportunity and desires to celebrate the natural beauty of the Sierra Estrella Mountains and provides a framework for community health and wellness. The focus on health and wellness will be realized through the design of family-friendly and multi-generational neighborhoods that are carefully integrated with an abundance of parks connected through a comprehensive network of trails and open space.

Jurisdiction and Project Parcels:

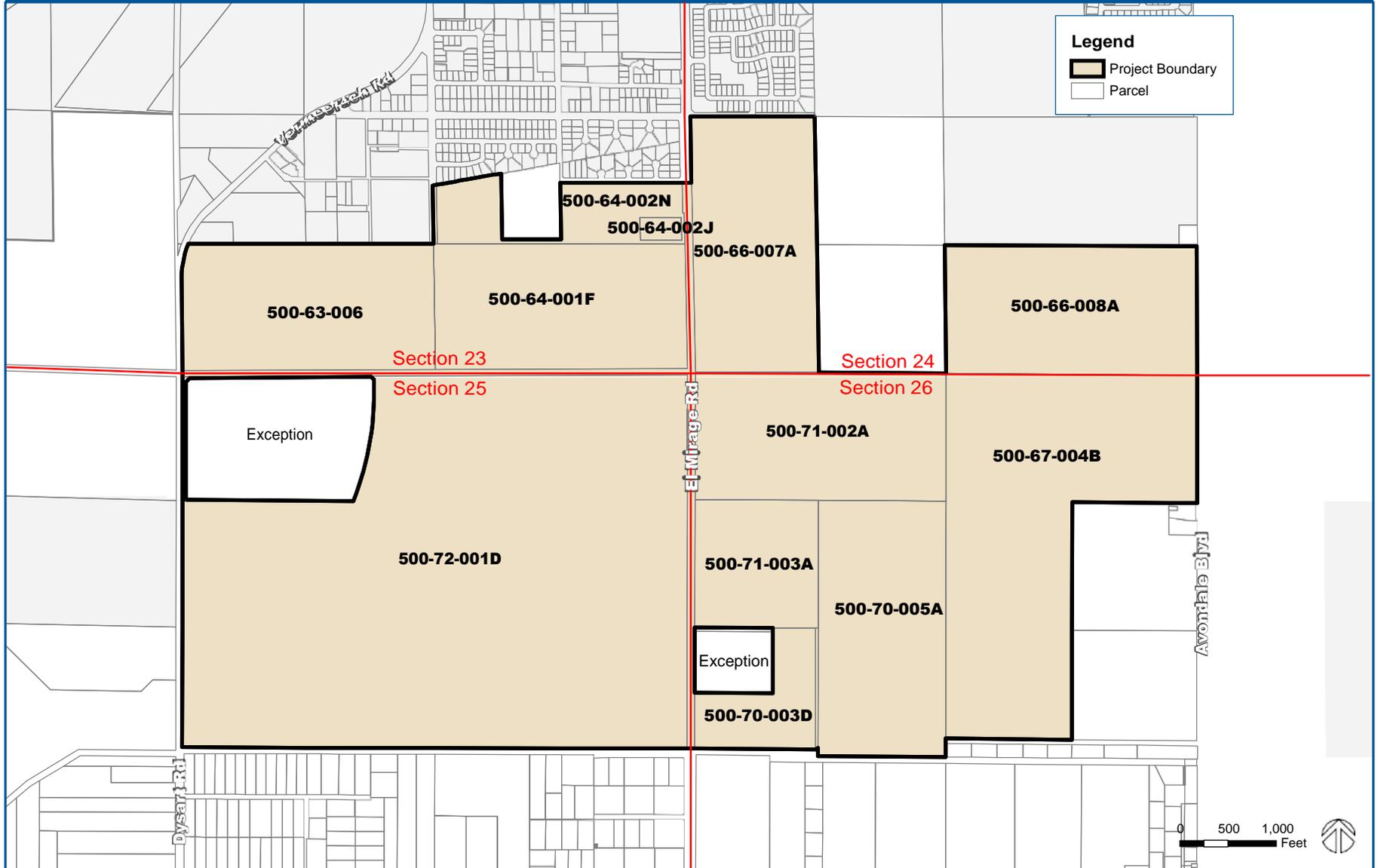
The property is in the Avondale Municipal Planning area, but is currently within an unincorporated county island, under the jurisdiction of Maricopa County.

The property subject to the proposed PAD Rezoning request includes the following Maricopa County Parcels Assessor Numbers:

	Parcel Number	Owner
1	500-63-006	LAKIN CATTLE COMPANY
2	500-64-001F	LAKIN CATTLE COMPANY
3	500-64-002J	LAKIN CATTLE COMPANY
4	500-64-002N	LAKIN CATTLE COMPANY
5	500-66-007A	LAKIN CATTLE COMPANY
6	500-66-008A	LAKIN CATTLE COMPANY
7	500-67-004B	LAKIN CATTLE COMPANY
8	500-70-003D	CASHION FARM LIMITED PARTNERSHIP
9	500-70-005A	CASHION FARM LIMITED PARTNERSHIP
10	500-71-002A	LAKIN CATTLE COMPANY
11	500-71-003A	CASHION FARM LIMITED PARTNERSHIP
12	500-72-001D	LAKIN CATTLE COMPANY

See Figure 1 for parcel locations.

Lakin Project Parcel Numbers



Brookfield
Residential



Figure 1

Subject Property and Surrounding Property Zoning:

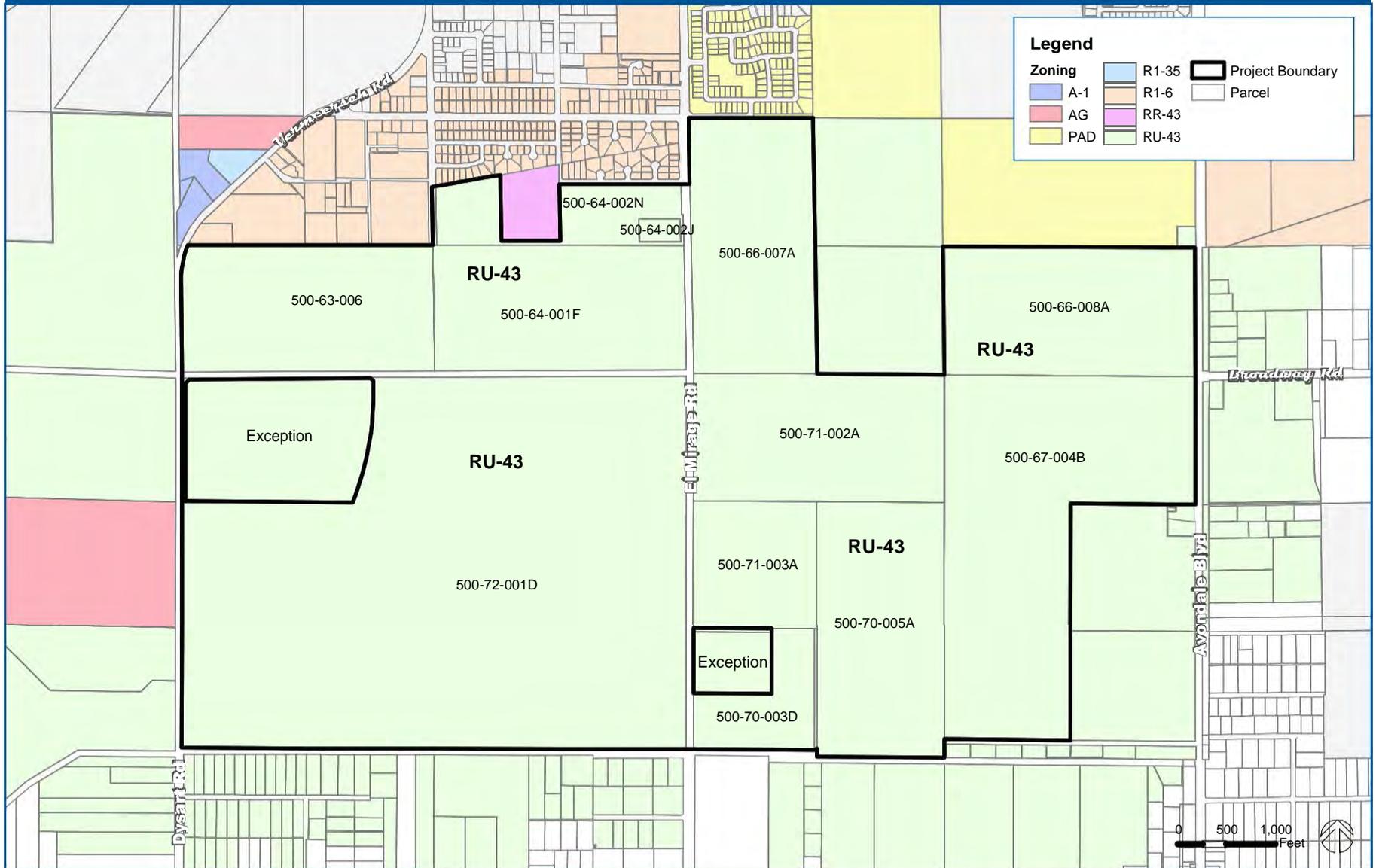
As referenced previously, the Property is under Maricopa County Jurisdiction, therefore, current zoning on the Property is in conformance with the County Zoning Ordinance. The surrounding property is under Maricopa County jurisdiction as well as the City of Avondale jurisdictional boundary; therefore, the surrounding zoning is in conformance with the County Zoning Ordinance and the Avondale Zoning Ordinance.

Below is a summary of the Property and surrounding property zoning and applicable jurisdictions.

	Property	Zoning	Jurisdiction
1.	Subject Property	RU-43	Maricopa County
2.	North	R1-6 and PAD	City of Avondale
3.	South	RU-43	Maricopa County
4.	East	RU-43	Maricopa County
5.	West	RU-43 and AG	Maricopa County and City of Avondale

See Figure 2 for Existing Zoning Map.

Existing Zoning



Brookfield
Residential



Figure 2

Lakin Property
City of Avondale General Plan
Minor Text Amendment Request
Current and Proposed Wording for Text Amendment

Prepared for:
Brookfield Residential (Arizona) LLC (“Brookfield”)
Contact:
John Bradley
14646 N. Kierland Blvd. Suite 270
Phoenix, AZ 85254

September 14, 2017

Request:

The following is a request for a minor General Plan Amendment of the City of Avondale General Plan 2030.

1. Amend text on p. 15, How This Plan is Amended

Page 15, 2012 General Plan Amendments Process	
Current Language	Revised Language
<p>HOW THIS PLAN IS AMENDED</p> <p>Amendments to this 2012 Plan shall be classified as major amendments or minor amendments. In accordance with A.R.S. §9-461.06, changes to the 2012 Plan are to be considered major amendments if the resulting change is a “substantial alteration of the municipality’s land use mixture or balance” as established in this 2012 Plan. Additionally, in accordance with a.r.s.§9-461.06, major amendments to this 2012 Plan (i) may only be considered by the city council at a single hearing designated each year for such cases, (ii) must be submitted within the same year they are heard and (iii) must receive a two-thirds majority vote of the city council for approval. In addition, such major amendments typically require several months of public notice and participation before consideration by the city council. Minor amendments shall be all General Plan amendments not determined to be major amendments. Amendments to this 2012 Plan may be initiated by the city or may be requested by private individuals or agencies in accordance with the procedures set forth in state law.</p>	<p>HOW THIS PLAN IS AMENDED</p> <p>Amendments to this 2012 Plan shall be classified as major amendments or minor amendments. In accordance with A.R.S. §9-461.06, changes to the 2012 Plan are to be considered major amendments if the resulting change is a “substantial alteration of the municipality’s land use mixture or balance” as established in this 2012 Plan. <u>For the purposes of this Section, the re-distribution or aggregation of land use densities and intensities as part of a Planned Area Development or amendments thereto shall be permitted and shall not be considered an amendment to the General Plan provided that: (1) the overall density and intensity of the underlying land use(s) is not increased; and (2) the overall underlying land use mix is not changed.</u></p> <p>Additionally, in accordance with A.R.S. §9-461.06, major amendments to this 2012 Plan (i) may only be considered by the city council at a single hearing designated each year for such cases, (ii) must be submitted within the same year they are heard and (iii) must receive a two-thirds majority vote of the city council for approval. In addition, such major amendments typically require several months of public notice and participation before consideration by the city council. Minor amendments shall be all General Plan amendments not determined to be major amendments. Amendments to this 2012 Plan may be initiated by the city or may be requested by private individuals or agencies in accordance with the procedures set forth in state law.</p>



LAKIN PROPERTY

PLANNED AREA DEVELOPMENT

Prepared for:

Brookfield
Residential

1st Submittal: 09.14.17
2nd Submittal: 12.14.17

Avondale
Aspiring. Achieving. Accelerating.

PL-17-0223



View from Hayes Peak - Sierra Estrella Mountain



“While typical Developers tend to promise that one big idea and always seem to come up short, our commitment for the **Lakin Property** is to do a thousand things really, really well. That’s the true role of a community builder.”

- VERNON D. SWABACK

APPLICANT

BROOKFIELD RESIDENTIAL

Contact: John Bradley
14646 N. Kierland Boulevard, Suite 270
Scottsdale, AZ 85254
Phone: (602) 903-7493
john.bradley@brookfieldrp.com

CONSULTANTS

ARIZONA STRATEGIES

Land Use Entitlements/ Zoning Strategy
3344 E. Camelback Road, Suite 100
Phoenix, AZ 85018
Contact: Karrin Taylor Robson
Phone: (602) 795-3020
ktaylor@arizonastrategies.com

MATRIX DESIGN GROUP, INC.

Land Use Entitlements/ Planner
2020 N. Central Avenue, Suite 1140
Phoenix, AZ 85004
Contact: Felipe Zubia
Phone: (602) 288-8344
felipe_zubia@matrixdesigngroup.com

SWABACK PARTNERS, PLLC

Community Planning and Design
7550 E. Mc Donald Drive
Scottsdale, AZ 85250
Contact: Jeffrey Denzak
Phone: (480) 367-2100
jdenzak@swabackpartners.com

WOOD/ PATEL

Civil Engineering
2051 W. Northern Ave, Suite 100
Phoenix, AZ 85021
Contact: Frank Koo, PE
Phone: (602) 335-8500
fkoo@WoodPatel.com

KIMLEY-HORN

Traffic Engineering
7740 N. 16th Street, Suite 300
Phoenix, AZ 85020
Contact: Chuck Wright
Phone: (602) 944-5500
chuck.wright@kimley-horn.com

AGENCY AND SERVICE CONTACT

School Districts:

Littleton Elementary School District
Dr. Roger Freeman, ED.D., Superintendent
1600 S. 107th Avenue
Avondale, AZ 85323
Phone: (623) 478-5611

Tolleson Union High School
Nora Gutierrez, Superintendent
9801 W. Van Buren
Tolleson, AZ 85353
Phone: (623) 478.4000

Emergency Fire:

Avondale Fire Department
City of Avondale Fire Station #173
11510 W. Durango St.
Avondale, AZ 85323

Emergency Police:

Avondale Police Department
11485 Civic Center Dr.
Avondale, AZ 85323
Phone: (623) 333-7001

Maricopa County Flood Control District:

Lynn M. Thomas, P.E., CFM
2801 W. Durango St.
Phoenix, AZ 85009
Phone: (602) 506-4779

Electricity:

SRP (Salt River Project Power and Water)
Keith Pellien
1521 N. Project Drive
Tempe, AZ 85281
Phone: (602) 236-4962

Telephone/Cable:

Century Link
Ronijean Sloan
135 W. Orion
Tempe, AZ 85283
Phone: (480) 768-4294

Natural Gas:

Yvonne Aguirre
Southwest Gas Company
10851 N. Black Canyon Highway
Phoenix, AZ 85029
Phone: (602) 484-5342

Solid Waste:

Cindy Blackmore
399 E. Lower Buckeye Road
Avondale, AZ 85323
Phone: (623) 333-4400

ADOT:

Annette Riley, P.E.
205 S. 17th Ave
Phoenix, AZ 85007
Phone: (602) 712-7011

MCDOT:

James Sargent PE RLS
2901 W. Durango
Phoenix, AZ 85009
Phone: (602) 506-8678

TABLE OF CONTENTS

1. INTRODUCTION	8
1.1 DEVELOPER	
1.2 THE VISION	
1.3 BRANDING AND THEMING	
1.4 PROJECT DESCRIPTION	
1.4.1 General Plan	
1.5 EXISTING CONDITIONS	
1.5.1 Regional Drainage Pattern	
2. CONFORMANCE TO THE GENERAL PLAN	24
3. PROPOSED PLANNED AREA DEVELOPMENT (PAD)	38
3.1 PAD OVERVIEW	
3.1.1 Purpose of the Request	
3.2 PROPOSED LAND USE DEVELOPMENT PLAN	
3.2.1 Proposed Residential land use budget	
3.3 PROPOSED USES	
3.3.1 Residential uses	
3.3.2 Non-Residential uses	
Commercial uses	
Public Safety Facility	
Elementary School	
Heritage Center Site	
3.4 OPEN SPACE	
3.4.1 Open Space Framework Plan	
3.4.2 Trails Network	
3.5 TRAFFIC AND CIRCULATION PLAN	
3.5.1 Street sections	
3.6 UTILITIES	
3.6.1 Sewer	
3.6.2 Water	
3.6.3 Grading and Drainage	
3.7 PHASING PLAN	

4.	PROPOSED DEVELOPMENT STANDARDS	96
	4.1 RESIDENTIAL	
	4.2 COMMERCIAL	
	4.3 HERITAGE SITE	
5.	DESIGN GUIDELINES	98
	5.1 PURPOSE AND OVERVIEW	
	5.2 SITE PLANNING AND DESIGN	
	5.3 ARCHITECTURE	
	5.4 COMMUNITY THEME AND CHARACTER	
	5.5 LANDSCAPE AND OPEN SPACE	
	5.6 COMMERCIAL	
6.	SIGNAGE AND WAYFINDING PROGRAM	158
7.	CONCLUSION	162

Appendix:

- 1: TRAFFIC IMPACT ANALYSIS
- 2: WASTEWATER MASTER PLAN
- 3: WATER MASTER PLAN
- 4: DRAINAGE MASTER PLAN

The yellow bar across the top of the page highlights revisions made to the PAD document per COA first review comments.

Note: All photographs, illustrations, and perspective sketches are intended to communicate Owner aspiration for future development. Should be considered conceptual in nature.

1. INTRODUCTION

1.1 Developer

Brookfield Residential (Arizona) LLC (“Brookfield”) has entered into an agreement with Lakin Cattle Company (“LCC”) and Cashion Farms Limited Partnership Properties (“CFLPP”) to purchase approximately 1,124 net acres of land located in unincorporated Maricopa County, Arizona, south and west of the City of Avondale, an Arizona municipal corporation (interchangeably “Avondale” or the “City”), mostly commonly referred to as the “Lakin Property” and more specifically described in the legal description which accompanies Brookfield’s Planned Area Development (PAD) application (the “Property”). LCC and CFLPP (the current owners of the Property), have granted Brookfield the authority to submit this PAD as well as the associated entitlement development applications and annexation petition to facilitate development of the Property as a Brookfield master-planned community.

Based on the above parameters, Brookfield is the identified “Applicant” of this PAD document. Brookfield is a leading North America land developer and home builder with operations in 12 U.S. markets in which they own 100,000 lots and deliver on average 3,200 homes a year to a broad spectrum of home buyers. Brookfield’s Arizona division currently has a number of developments throughout the Phoenix metropolitan area, including a joint venture partnership with DMB Associates at Eastmark in Mesa. Eastmark is currently ranked the top-selling master-planned community in Arizona and the 6th top-selling master-planned community in the Nation. Brookfield’s Eastmark community has garnered numerous awards as well as significant national recognition for its success.

Brookfield invests in markets for the long-term, building communities as places of great character and value where people want to live and call home. For each new community, Brookfield creates a blueprint that guides the land development process from start to finish, resulting in a community with attributes that make each unique and special place. Brookfield is committed to providing all resources needed to make a positive lasting social impact in all their communities.



1.2 The Vision

The project is envisioned as a connected, integrated and holistic master plan that will result in a very strong identity for the community as well as the City. Because the Property is located directly northeast of the confluence of three major river corridors (Salt, Gila, and Agua Fria Rivers), Brookfield believes that this is a unique opportunity to develop a comprehensive community master plan that embraces the City's desire to celebrate the natural beauty of the Sierra Estrella Mountains and provides a framework for community health and wellness.

The Property's unique location at the convergence of these rivers limits transportation circulation west of the Property and presents significant limitations south of the Property as well. These geographical and physical conditions reinforce Brookfield's desire to create a carefully crafted destination-oriented master plan community that can become a regional destination within the City. The Property is a special asset that will complement the overall fabric of Avondale and help to reinforce the community as a great place to live, work and play.

The focus on health and wellness will be realized through the design of family-friendly and multi-generational neighborhoods that are carefully integrated with an abundance of parks, trails and open space. Each of these community amenities will encourage social engagement and place a premium on the opportunities to connect back to nature. Brookfield envisions a creative interpretive art program integrated within the parks and trails. The interpretive arts program will be incorporated with special signs and information articulated in thoughtful formats that celebrate the history of the land and nearby mountains and rivers.

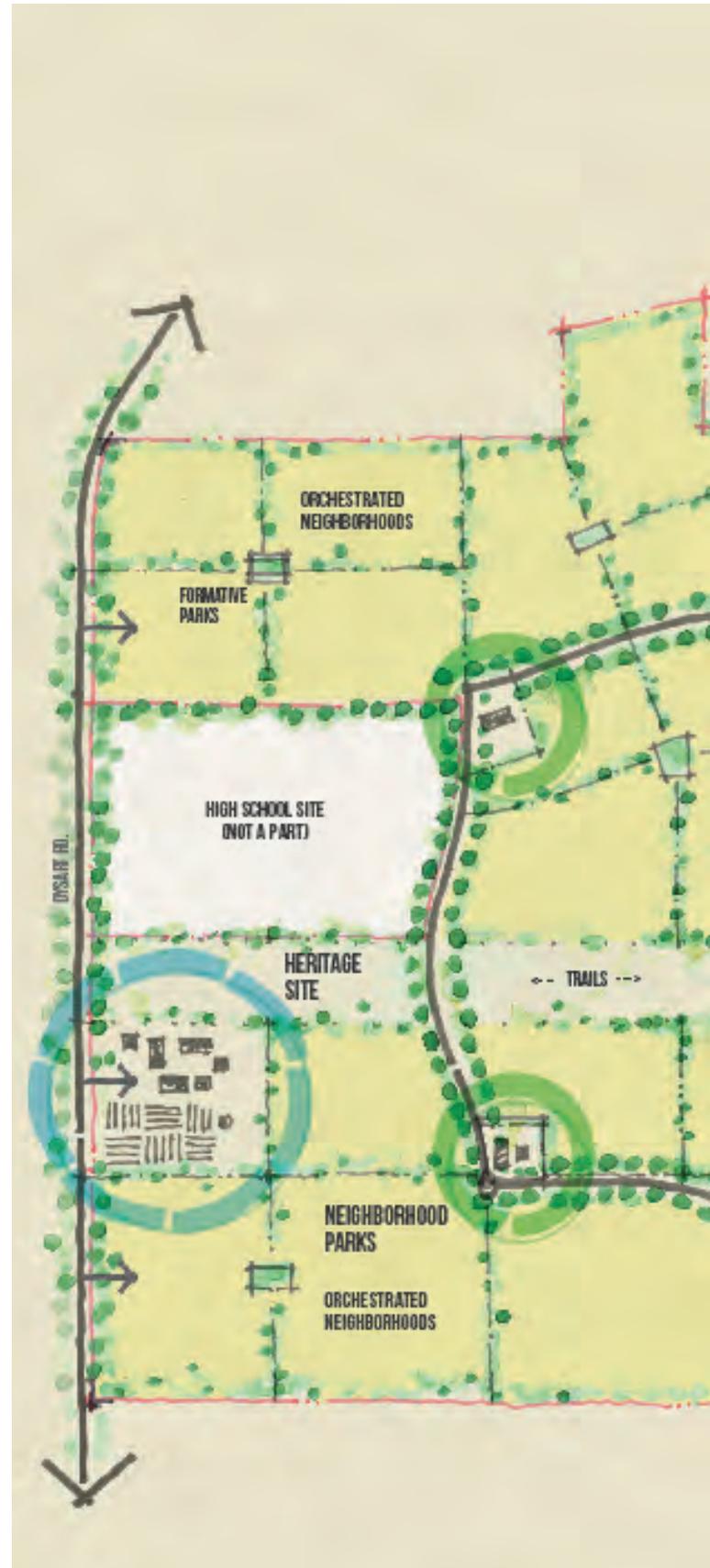


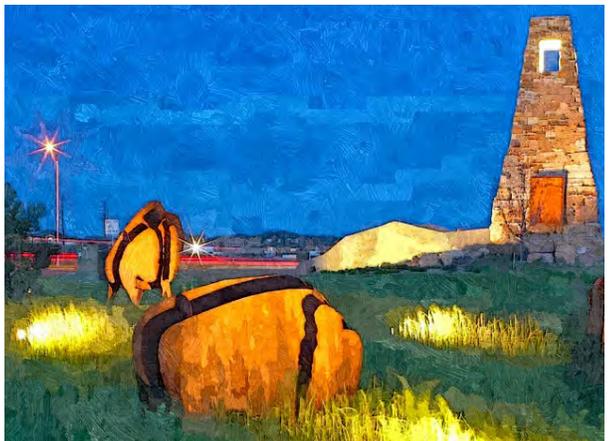


Exhibit #1 - The Vision Plan

1.3 Branding and Theming

The design is envisioned to celebrate the very best aspects of community and to bring people together in the great Arizona outdoors. Over 9.5 miles of trails will connect a series of family friendly neighborhoods and an integrated series of specialty designed parks. The overall community design fabric will provide a fresh and hip community scene that focuses on social engagement and healthy living. A spirit of health and wellness will be made easy with an abundance of opportunities to hop on a trail and connect with friends and neighbors. Whether it's a casual walk to the neighborhood park down the street for a community celebration or a 5-mile run with your next door neighbor along the Heritage Loop Trail, there will be an abundance of fun, attractive and healthy opportunities to get outside and reconnect with nature. The community trail system will also provide convenient linkage to Avondale's trail system and nearby river corridors and mountains. The new community will be a source of pride for the City of Avondale focused on livability and long-term sustainability.

Parks, landscape features and community monumentation will be designed to pay tribute to the heritage of the Property in creative and contemporary ways. Park design and associated program elements will allow for both formal activities and informal gatherings; all with the intent of encouraging healthy living. Landscapes will be designed in more contemporary manner with a strong focus on shade, comfort and visual interest. Unlike the organic and natural feel of the Sonoran Desert, the landscape form and structure will take on a more formal feel highlighted by rows of trees on streets, in parks and along borders. Community monuments and features will include stone, stucco, steel, concrete and wood; all integrated into fresh sculptural design motifs with creative references to the nearby river corridors and mountain context.





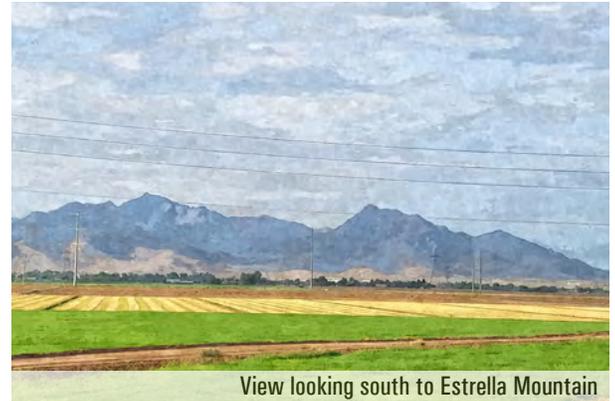
Over 9.5 miles of trails will provide connectivity throughout the community

1.4 Project Description

The Property is 1,124 net acres bounded on the east by Avondale Boulevard which is envisioned as the main entry into the community. The northern boundary of the Property is bounded by several different conditions including: agriculture related uses, a Salt River Project substation and residential subdivisions (Cantada Ranch and Vermeersch Acres). The current El Mirage Road alignment is envisioned as a secondary entry into the community. The western-most portion of the Property aligns with Dysart Road and the Lakin milling operations and the City of Avondale Water Treatment Center are located west of Dysart Road. It is important to note, the adjacent out-parcel along the Dysart Road alignment is a 56-acre Tolleson Unified School District site planned for a future high school. A 28-acre Heritage Site located south of the high school property is planned for a future low intensity mixed-use center by the Lakin family. The southern portion of the Property terminates along W. Atlanta Avenue and the existing Sunland drainage channel (a.k.a. Durango Regional Conveyance Channel).

An additional out-parcel is depicted on the Development Plan, adjacent to El Mirage Road in the Southeast Planning Unit of the Property and is identified as the "Yerington Property".

In addition, the Property is traversed by a series of utility (electric line) easements as well as an existing effluent line easement that runs east-west along the southern half of the Property. Currently, the Property is utilized for agricultural use. Development will occur in phases from the east (starting from Avondale Boulevard) to the west. Agricultural operations will likely continue over time as phases of development are implemented.



View looking south to Estrella Mountain



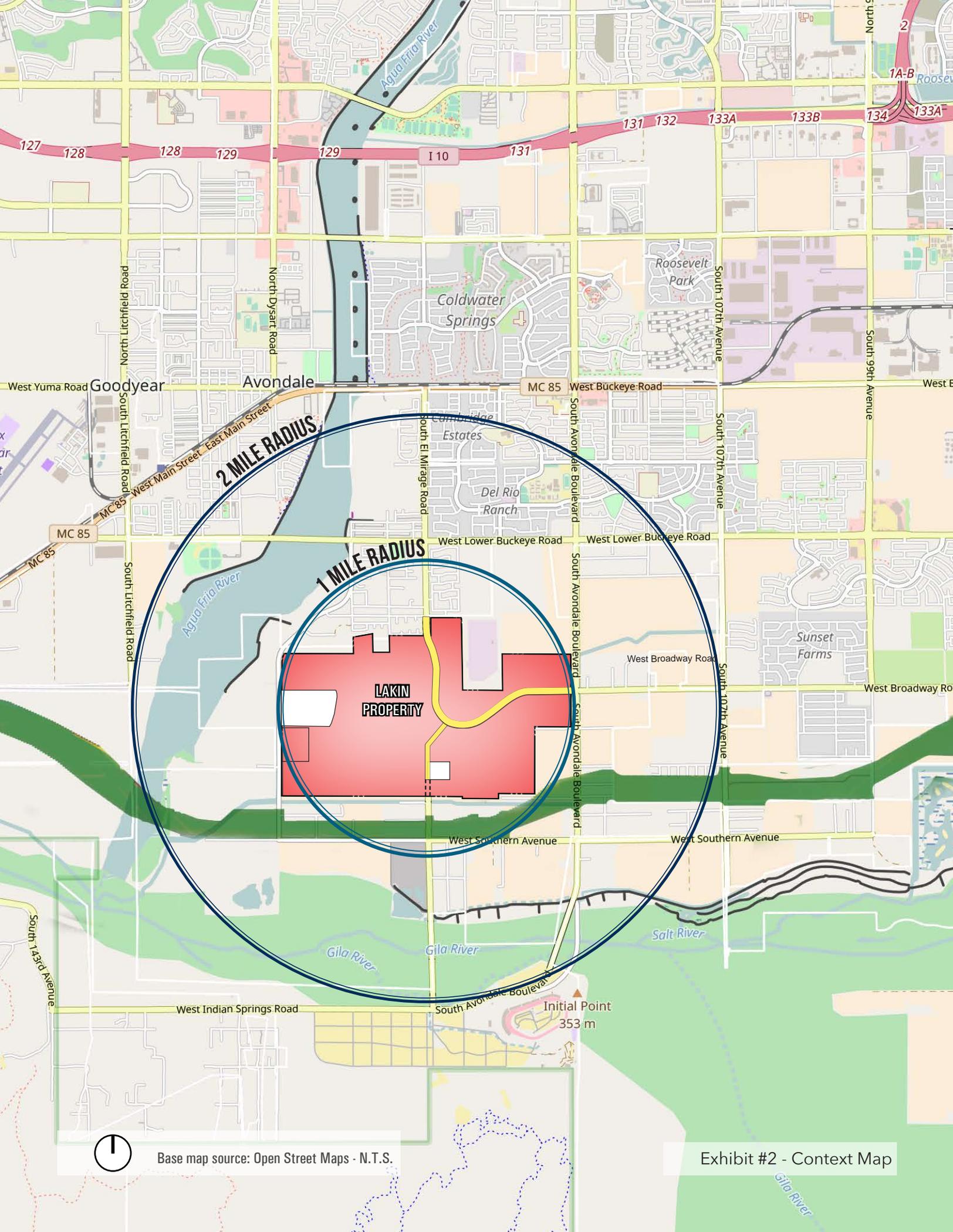
View looking south at El Mirage Blvd.



View looking west along irrigation canal



View looking southwest



Base map source: Open Street Maps - N.T.S.

Exhibit #2 - Context Map

While the Property has several physical constraints, the opportunity to create a comprehensive community master plan is illustrated in the accompanying Vision Plan and Land Use Development Plan. The organization of the plan is based on several key components including:

A. Organization of Vehicular Circulation

The plan calls for the creation of an internally focused vehicular circulation system that reinforces the destination oriented community master plan. The main circulation spine road connects the Broadway Road alignment at Avondale Boulevard with the El Mirage Road alignment in a sweeping curvilinear geometry that allows for critical connectivity to the series of neighborhood parcels throughout the Property. Rather than a large major arterial road that is oriented to accommodating cut through traffic, the proposed roadway would be designed as a major collector road that provides safe and functional access to all the planned neighborhoods as well as allow for managed access south of the Property on El Mirage Road. This parkway concept will be much more in-line with the comprehensive nature of the community master plan and will also be much more comfortable for residents who will utilize the adjacent trail system.

Broadway and El Mirage will be complemented by a minor collector loop road system that will provide convenient access to parcels south and west. If the existing Tolleson Union High School District property is developed as a high school, then there will be a minor collector road provided to Dysart Road. Otherwise, local road access will be incorporated per the Development Plan. These roadways articulated on the Vision Plan and Land Use Development Plan have been studied in great detail. This specific strategy is to design a creative circulation system that allows for an efficient and effective transition to the local neighborhood roads. This may be done by considering roundabouts and other methods to address the intended distribution of vehicle trips in a methodology that does not rely on a suburban oriented hierarchical road system of arterial, collector and local roads. The goal is to reinforce the connectivity of the community fabric with road sections that allow easier access for vehicles and pedestrians from one neighborhood to next.

In addition to these site specific and contextual circulation components, another significant factor that impacts the overall proposed circulation plan is the timing and design for the future SR 30 alignment. The construction of SR30 is an important element to the City's future goals associated with growth in and around the southern portion of the City. The preferred SR 30 alignment through this portion of the City identifies major interchanges at both the Avondale Boulevard and Dysart Road alignments. Based on our discussions with the Arizona Department of Transportation ("ADOT") and the Maricopa Department of Transportation ("MCDOT"), this regional transportation strategy aligns with our findings that El Mirage Road will have a greatly diminished role to play in terms of local and regional connectivity due to the fact that it does not provide continuous access through Avondale, it does not provide access across the river during storm events and it is not connected to the I-10 transportation corridor.

B. Overall structure and organization of Land Uses

The range of land uses envisioned for the Property have been carefully organized to encourage a socially interconnected community fabric of neighborhoods, community services and future shopping opportunities.

C. Parks and Open Space Framework

The parks and open space framework provide an important component for opportunities to socially engage with neighbors and friends within the context of a specially designed park system that is connected through convenient trails.

"BY THE NUMBERS"



9.5+ MILES

of interconnected **TRAILS** focused on celebrating the geographical history of the adjacent rivers, mountains and basin



14 MILLION

COMMUNITY PARK jointly funded by the City and Brookfield



6 ACRES

of Elementary School **OPEN SPACE** envisioned as a co-located community resource for shared use*



3 NEIGHBORHOOD PARKS

strategically located with specialty community **PROGRAM ELEMENTS AND FEATURES** including pool and comfort station



21 FORMATIVE PARKS

carefully located and crafted formative parks to be embedded throughout the neighborhoods to encourage **OUTDOOR ENGAGEMENT**

* Note: if the shared school open space does not come to fruition, Brookfield will provide an additional 6-acres of Park space.

1.4.1 General Plan

The Property is 1,124 net acres and is located within an unincorporated area of the City of Avondale's General Plan boundaries. As such, the General Plan provides a guidance on the allowable land uses, density and intensity of such uses. The following is a description of the land use designations per the City's General Plan.

ELDR: Estate Low Density Residential

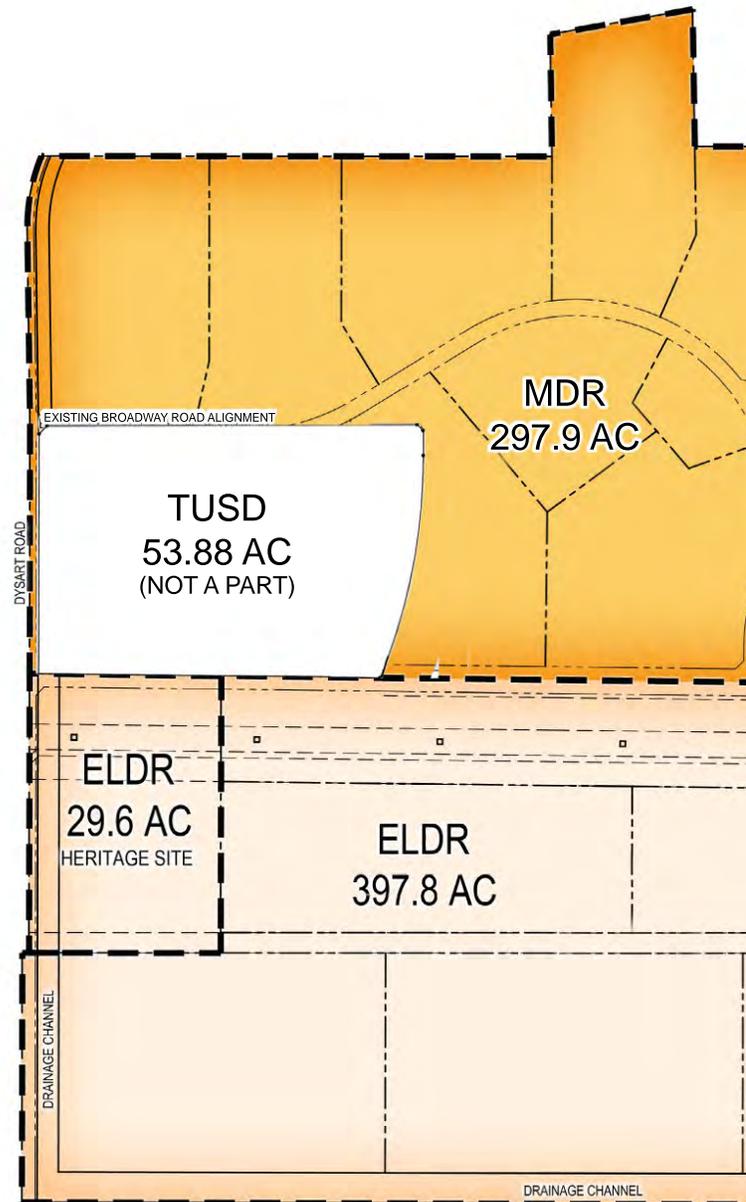
MDR: Medium Density Residential

MHDR: Medium/ High Density Residential

In addition, the General Plan identifies 19-acres along Avondale Boulevard as Commercial.

The General Plan residential land use designations for the Property allow up to 4,212 units. The Developer is proposing a blended density plan totaling 3,695 units, well below the maximum allowed units. Section 2 "Conformance with the General Plan" of this PAD identifies in detail how the proposed Development Plan conforms to the goals and policies of the General Plan.

By creating a detailed comprehensive community master plan, Brookfield is able to ensure the careful organization of a well-crafted open space and amenity strategy for the Property. This strategy does not rely on the target densities contemplated for each individual parcel, but considers the allowed overall density ranges, per the City's General Plan, based on an overall integrated master plan strategy.



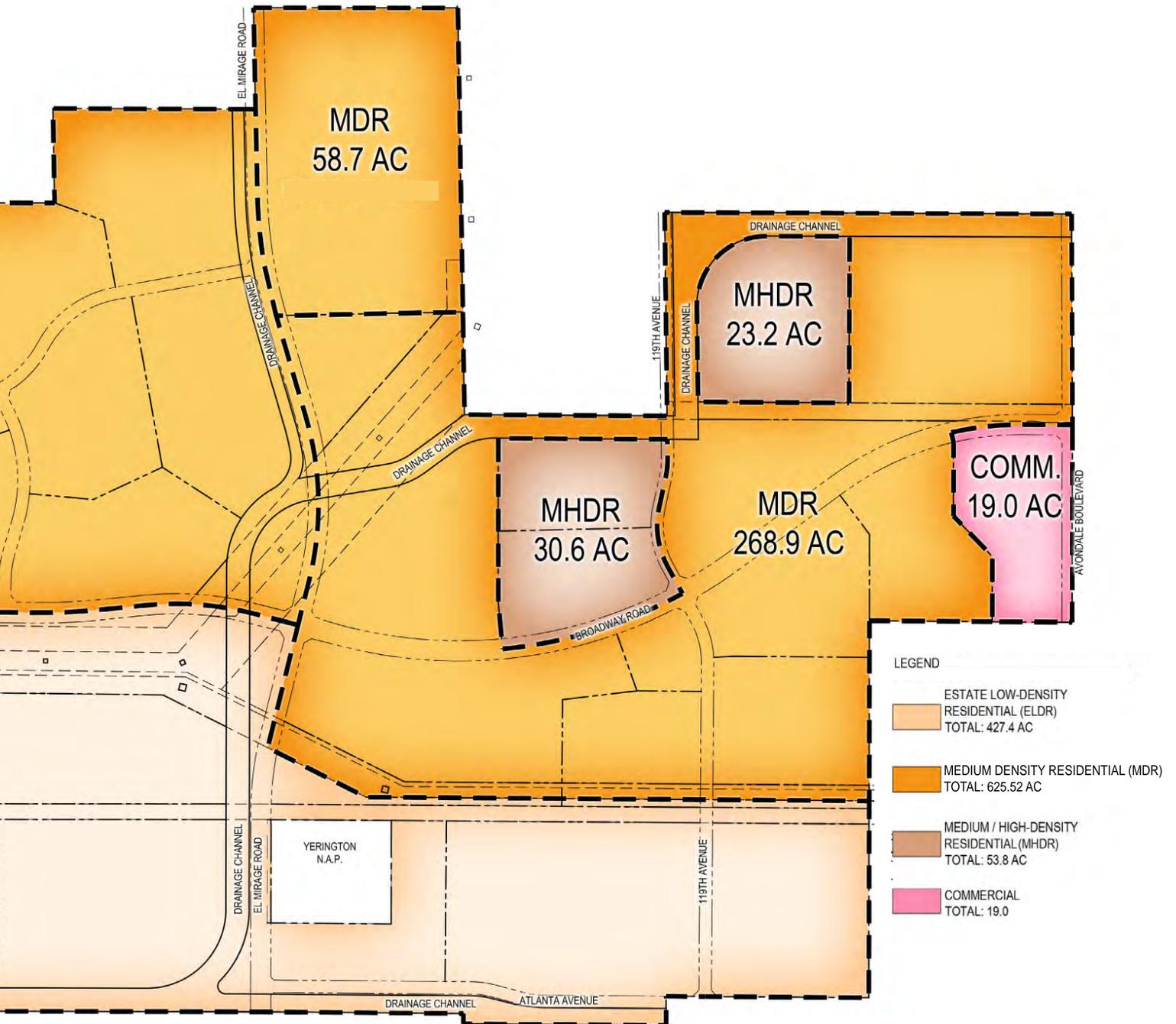


Exhibit #3 - Existing General Plan

1.5 Existing Conditions

Electrical Utility Corridors

The Property includes linear electrical transmission corridors and associated easements that include a “Y” separation near the middle of the Property. The easements widths vary across the site and are managed by SRP, APS and WAPA all of whom provide electricity to a large geographical region. The associated sub-station is located north of the Property east of the El Mirage roadway alignment. Brookfield has been working closely with the utility providers during the planning and preliminary engineering phases and based on this coordination and collaboration, Brookfield plans to utilize the easements as part of the overall trail system, informal open space for recreation and for detention design requirements. Cross sections of the Electrical Utility corridor have been illustrated in Section 3.4.2 - Trails Network.

Sewer and Effluent Line

The existing City of Avondale Waste Water Treatment Plant is west of Dysart Road along the Broadway Road alignment and is connected to the existing sewer trunk line and easement which traverses across the south half of the Property in an east/ west alignment. The Palo Verde effluent line is planned to be undisturbed during the project’s development except three roadway crossings and trails as shown on the development plan.

Water

Existing water transmission lines adjacent to the Property boundaries at Avondale Boulevard, El Mirage Road and Dysart Road will be utilized for the project. All water needs will be serviced by the City’s existing facilities based on existing capacity.

Floodplain

A large portion of the project area is impacted by three floodplains along the east and south portions of the Property. Brookfield is currently working with the City, the Maricopa County Flood Control District (“MCFCD”) and (“FEMA”) to revise the floodplain maps to remove some of the current impacts. Brookfield will continue to coordinate with the City, MCFCD and FEMA to eliminate floodplain designations from the maps as warranted in order to allow for the proposed development. It is expected, the total amount of fill will be in the range of two to three feet. In some cases, due to isolated anomalies, the fill amount may be greater. It is Brookfield’s intent to balance cut and fill within the project boundaries.

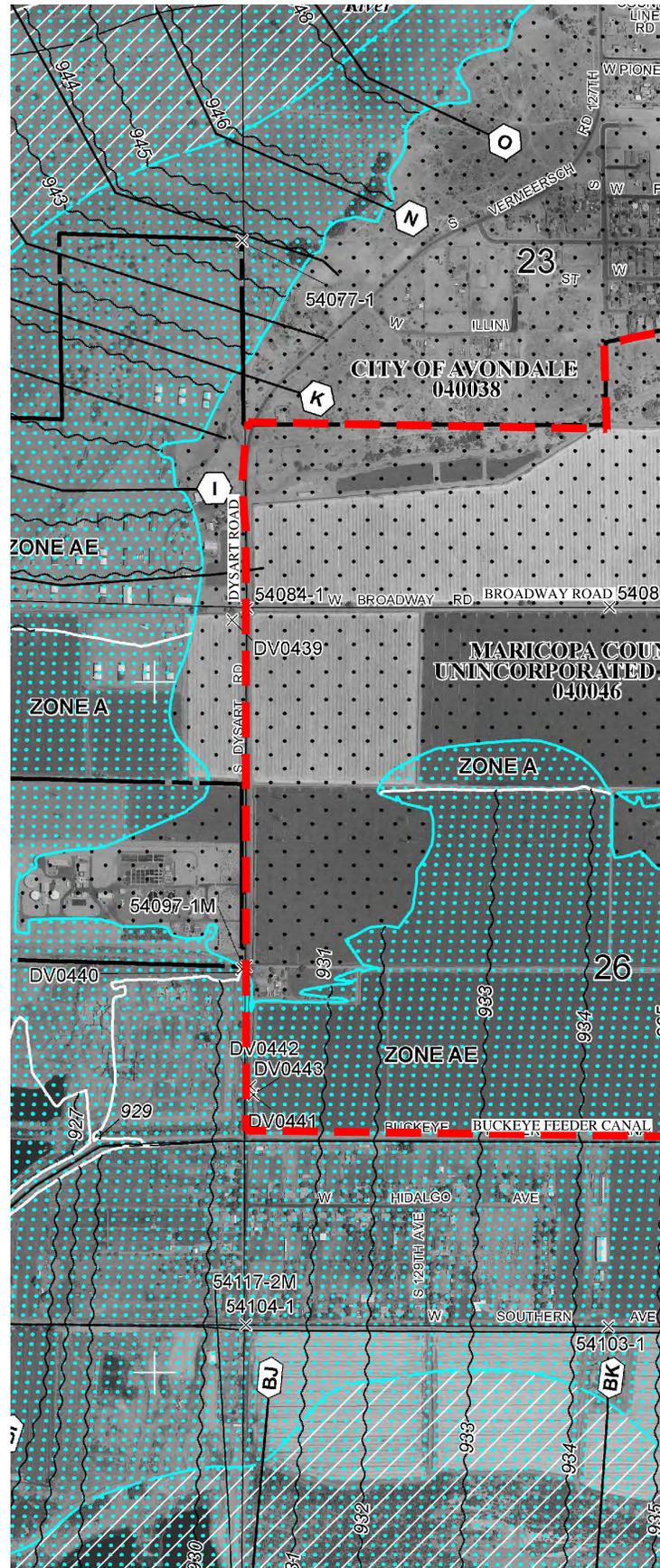


The proposed trail system will follow the alignment of the existing utility corridor

1.5.1 Regional Drainage Pattern

Brookfield has spent considerable time and effort understanding the local and regional issues associated with drainage and floodplains. This investment in technical studies as well as the exploration of stormwater management solutions for both the existing and post-development drainage conditions is critical to the success of the project. Brookfield is coordinating with City, County and regional agencies in order to obtain all appropriate approvals for the site's development. This ensures that the vision for the Property can be successfully executed.

The Property is currently impacted by existing floodplains from the Gila River and the Buckeye Feeder Canal. The natural drainage patterns for the site flows from north to south and east to west with runoff concentrating at the intersection of Dysart Road and the existing Buckeye Feeder Canal before leaving the Property. The Property's post-development runoff is anticipated to be conveyed to on-site stormwater retention basins. The Property's proposed stormwater management systems shall reclaim existing floodplain land which is anticipated to require multiple FEMA Conditional Letters of Map Revisions (CLOMR's) and Letters of Map Revisions (LOMRs). Brookfield will also cooperate in the design of components of the Durango Regional Conveyance Channel (DRCC) as they relate to the Property. All proposed drainage systems will be closely coordinated with the City of Avondale, the Flood Control District of Maricopa County and FEMA.



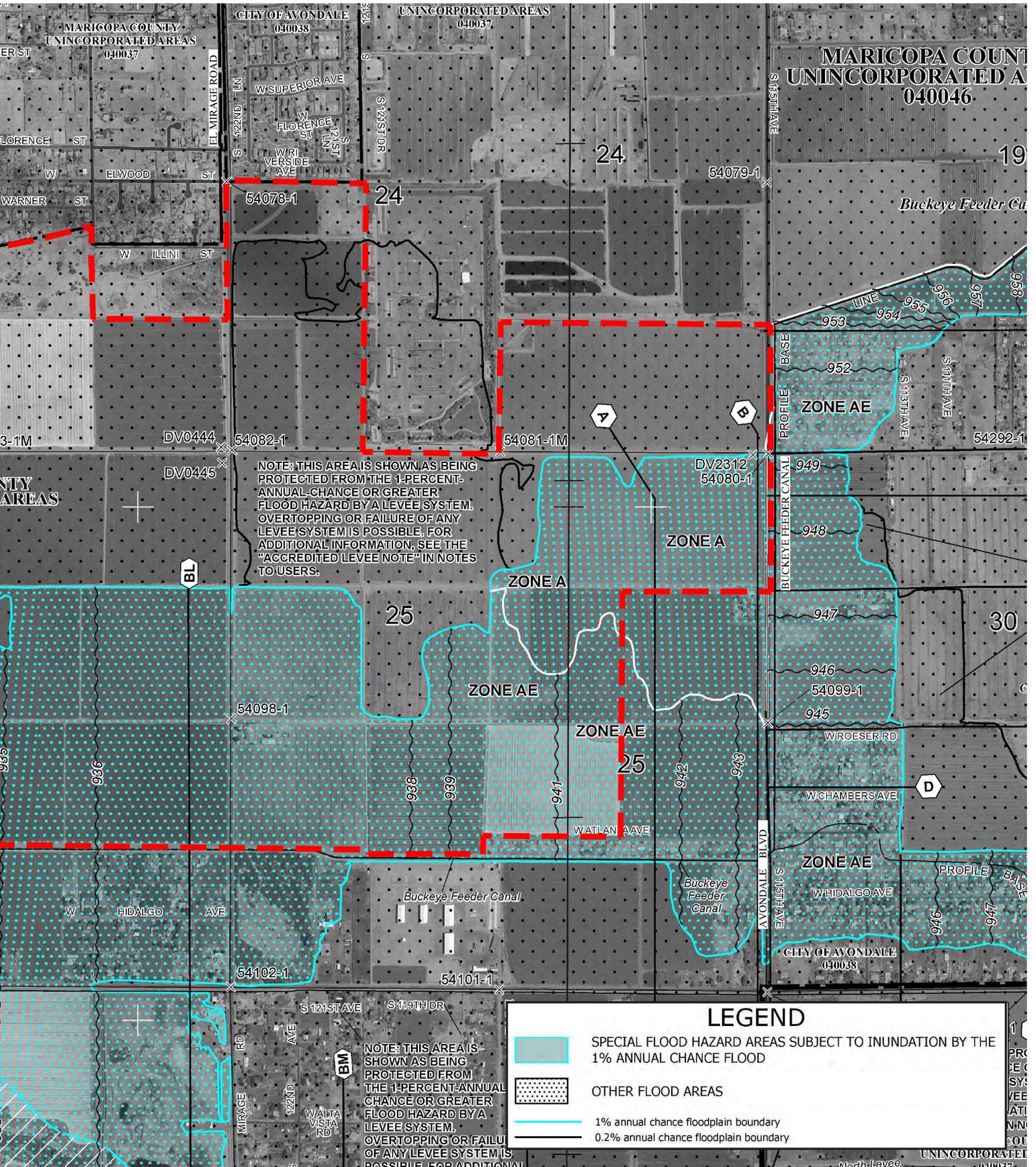


Exhibit #4 - FEMA Floodplain Map

2. CONFORMANCE WITH THE GENERAL PLAN

Vision Statement

A city of variety, vitality, and values, whose citizens pursue an active role in molding a great place to live, work, and play, in a manner respectful of the City's rich history, growing culture, and invaluable natural resources.

Avondale is unique, choosing to appreciate and maintain its heritage while also pro-actively seeking innovative ways to provide the highest quality of life by becoming a healthy lifestyle community.

Role of the General Plan and Relationship to Lakin Property

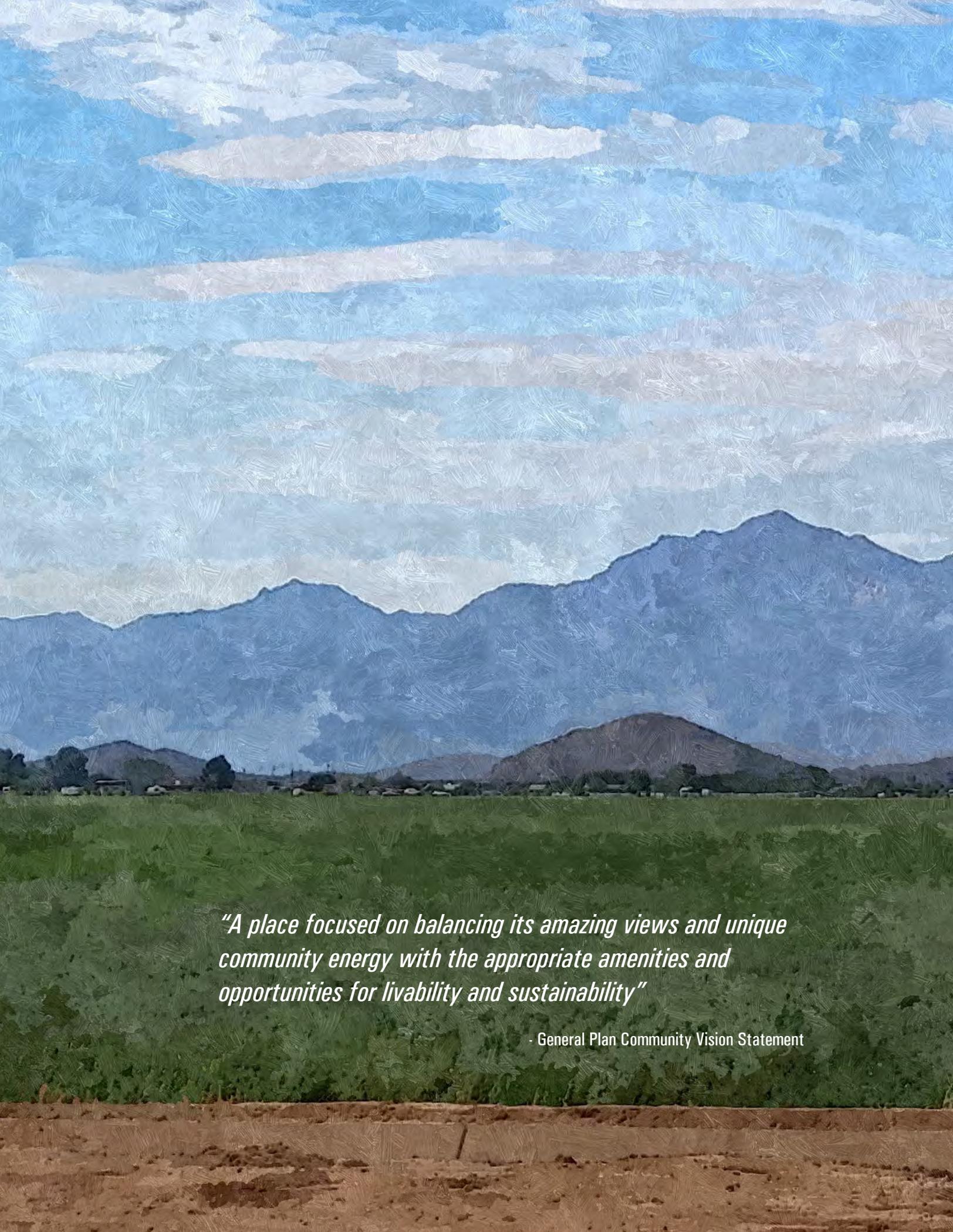
The PAD and intended development has been developed to achieve the goals, objectives and policies set forth in the General Plan. The focus for this project is to facilitate growth in a manner that continues to elevate the quality of life for all citizens in Avondale.

The City of Avondale General Plan 2030 discusses the importance of building a **"Healthy, Sustainable City"**. The General Plan notes that this concept is supported by:

- Increasing the City's "walkability" by adding pedestrian and bike paths that encourage people to use non-motorized means of travel rather than driving;
- Promoting neighborhood-serving businesses;
- Working with industry to reduce pollutants and conserve resources;
- Adding and maintaining parks, open space, trails, and greenery in neighborhoods for comfort and recreation;
- Ensuring that the outcome of development maintains quality of life expectations and grows in harmony with its environment and natural resources.

Achieving the aspirations of the City's General Plan requires acknowledging the links between built environments and healthy living, particularly the influence that patterns of land use, density, transportation strategies, and street design have on a community's and individual resident's well-being.

- VERNON D. SWABACK



"A place focused on balancing its amazing views and unique community energy with the appropriate amenities and opportunities for livability and sustainability"

- General Plan Community Vision Statement

LAND USE ELEMENT:	
GP GOAL	Brookfield Response
<u>Goal 1: “Establish an Avondale identity based on a healthy lifestyle that promotes land uses which foster an economically sustainable and socially dynamic community.”</u>	The overall community design fabric will provide a fresh and hip community scene that focuses on social engagement and healthy living. A spirit of health and wellness will be made easy with an abundance of opportunities to hop on a trail and connect with friends and neighbors.
<u>Goal 3: “Promote a strong balance of high quality residential, employment, recreation, and educational land uses.”</u>	Brookfield is proposing a diverse range of housing product. The proposed development includes high and medium-high density product, medium size lots to low density lot sizes.
<u>Goal 4: “Ensure all land use decisions meet the long-term social and economic goals of the community.”</u>	The community will provide executive housing and larger lots for the community. Based on research to date, discussions with the home builder industry and an analysis of potential comparable projects, the inclusion of executive housing and larger lots will greatly expand the current offering in the Southwest Valley. However, it is important to note that the project will also be providing higher density housing where appropriate, adjacent to higher intensity uses such as utilities, commercial and public uses. The higher density products would include townhomes as well as creative drive court and green court products. All creative clusters to be carefully organized with convenient access to amenities and adjacent open space. This higher density housing will support more vibrant commercial areas through increased population supporting more diversity of non-residential uses and ultimately higher sales tax revenues.



Goal 5: “Promote land uses that are respectful of the natural environment and which conserve valuable natural resources such as open space, clean air, water, and energy.”

The project is envisioned as a connected, integrated and holistic master plan that will result in a very strong identity for the City. Because the Property is located directly northeast of the confluence of three major river corridors (Salt, Gila, and Agua Fria Rivers), Brookfield believes that this is a unique opportunity to develop a comprehensive community master plan that embraces the City’s desire to celebrate the natural beauty of the Sierra Estrella Mountains and provides a framework for community health and wellness. Respecting the natural environment is done not only through an expansive trail system, large community park and efficient drainage design, it is also accomplished through architectural design, community features, elements and design components organized around a series of materials and desert treatments, proposed color palette will be comprised of muted tones and will take clues from natural context of the land, river valley and adjacent mountains as well as the historic contexts of the surrounding properties.



Goal 7: “Plan for educational facility locations as development and redevelopment occurs”.

Brookfield has coordinated with the Littleton Elementary School District (“LESD”) and has proposed a 15-acre school site on the Property. Brookfield understands the importance of schools to a community’s well-being and believes that the elementary school will be a significant asset to the overall fabric of the community. In addition, Brookfield is in discussions with both the City and the LESD on the potential opportunities for co-locating open space and recreation improvements within the context of or adjacent to the school site. This will likely include a co-use agreement to allocate improvement costs and govern operational and maintenance responsibilities.



COST OF DEVELOPMENT ELEMENT:

GP GOAL	Brookfield Response
<p><u>Goal 2: “Preserve and enhance infrastructure and the existing level of public services for residents and businesses.”</u></p>	<p>The successful development of this project will substantially augment the city’s infrastructure and existing level of public services in south Avondale through the reservation land for the development of a new fire/ safety substation and a new elementary school. This project will also reserve land and contribute to the development of a new 30-acre community park site. Through the development of the Property, this project will provide water, sewer and road connectivity over two square miles where supportive infrastructure does not currently exist. This will have the added benefit of attracting other users to the area who will be able to capitalize on the new infrastructure.</p>



HOUSING ELEMENT:

GP GOAL	Brookfield Response
<p><u>Goal 2: “Champion the development of housing types not currently available in the City to allow for a variety of socio-economic levels”</u></p>	<p>Housing design will create a rich character and quality with a range of housing design styles that will help to curtail the typical suburban monotony and sameness. Based on the overall community theming and branding, the project will include four distinct architectural styles: Spanish Colonial, Territorial Ranch, Craftsman/ Bungalow and Traditional Southwest.</p>
<p><u>Goal 4: “Require excellence and innovation in residential design and construction.”</u></p>	<p>All major parts of residential buildings will be designed and executed with general best practices associated with architecture and design. A focus on key components and the appropriate design composition will be mandated through the proposed architectural design standards and guidelines in Section 5 of the PAD.</p>



CONSERVATION, REHABILITATION, AND REDEVELOPMENT ELEMENT, AND NEIGHBORHOOD PRESERVATION AND REVITALIZATION ELEMENT:

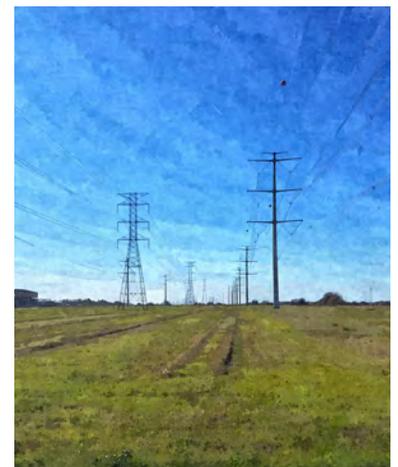
GP GOAL	Brookfield Response
<u>Goal 2: "Create a true sense of community that stretches beyond neighborhood boundaries."</u>	Residential blocks will be organized in more sophisticated and intricate patterns that allow for varied street scenes and reinforce the opportunity for special place-making and each grouping of neighborhoods will provide a clear sense of connectivity to community features, amenities and the trail network.

ENERGY ELEMENT:

GP GOAL	Brookfield Response
<u>Goal 5: "Integrate electric power line corridors, electric substations, and other energy infrastructure into future development."</u>	The site includes a linear electrical corridor and associated easements that includes a "Y" separation near the middle of the Property. Brookfield has been working closely with the utility providers during the planning and preliminary engineering phases. Based on this coordination and collaboration, Brookfield plans to utilize the easements as part of the overall trail system, informal open space for recreation and for detention design requirements.

ENVIRONMENTAL PLANNING AND CONSERVATION ELEMENT:

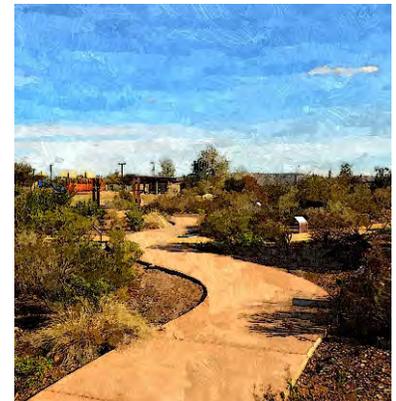
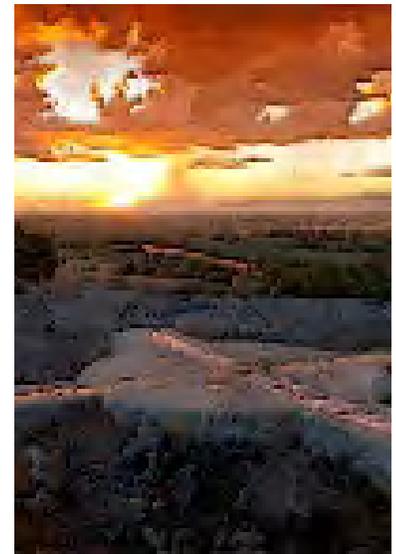
GP GOAL	Brookfield Response
<u>Goal 1: "Protect floodways, floodplains, hillsides, and other environmentally sensitive areas from inappropriate development"</u>	Brookfield understands the local and regional issues associated with drainage and floodplains and explored potential mitigation solutions for the current floodplains, as well as existing and proposed drainage. To address these drainage issues, Brookfield will prepare mass grading reclamation plans, multiple Conditional Letters of Map Revisions ("CLOMR") and multiple Letters of Map Revisions ("LOMR") to be submitted to FEMA as necessary. Brookfield will also cooperate in design of components related to the Durango Regional Conveyance Channel ("DRCC") relative to the Property.



<p><u>Goal 4: “Maintain or enhance the quality of Avondale’s natural resources.”</u></p>	<p>Community features, elements and design components will be organized around a series of materials and desert treatments that take their clues from the overall community themes of health, wellness, community engagement and connection to nature.</p>
<p><u>Goal 8: “Conserve water”</u></p>	<p>Although the landscape form and structure will have a formal feel highlighted by rows of trees on streets, in parks and along borders, the overall landscape palette will be low water use and appropriate for the desert environment.</p>

OPEN SPACE ELEMENT:

GP GOAL	Brookfield Response
<p><u>Goal 1: “Identify, protect, and preserve the natural amenities and environmental attributes that are unique to Avondale and contribute to a healthy lifestyle”</u></p>	<p>There will be an abundance of fun, attractive and healthy opportunities to get outside and reconnect with nature. The community trail system will also provide convenient linkage to the unique riverfront setting. The new community will be a source of pride for the City of Avondale that focuses on livability and long-term sustainability.</p>
<p><u>Goal 2: “Create linkages to parks, trails, rivers, and mountains.”</u></p>	<p>Over 9.5 miles of trails will connect a series of family friendly neighborhoods and an integrated series of specialty designed parks.</p>
<p><u>Goal 3: “Make Avondale’s unique natural setting central to its identity as a Healthy Lifestyle City.”</u></p>	<p>The Property’s unique location at the convergence of multiple rivers limits transportation circulation west of the Property as well as significant limitations south of the Property. These geographical and physical conditions reinforce the desire to create a carefully crafted destination-oriented master plan community that can become a regional destination within the City. The community will be a special asset that will complement the overall fabric of Avondale and help to reinforce the community as a great place to live, work and play.</p>



<p><u>Goal 4: “Protect views of and access to mountains and river corridors.”</u></p>	<p>A central theme of the project is its visual and physical access to the surrounding natural areas. With this in mind, the community will be carefully designed with an integrated street system to take advantage of the existing view sheds, and an open space and park system, and trail network that connects the neighborhoods to the surrounding natural areas.</p>
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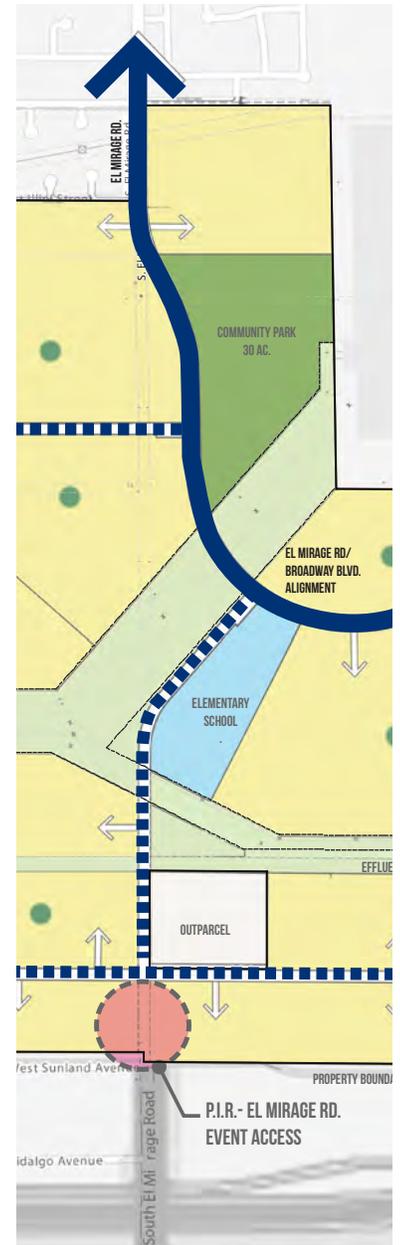
RECREATIONAL AMENITIES ELEMENT:

GP GOAL	Brookfield Response
<p><u>Goal 1: “Ensure every person has convenient access to safe public parks and affordable recreation opportunities.”</u></p>	<p>Brookfield Residential intends to reserve a large 30-acre community park site and contribute to the development of this site. Additionally, the project includes three strategically located neighborhood parks that will range in size from approximately two 2 to 3-acres, as well as a series of formative parks. The neighborhood park space will be geared toward the community’s adjacent neighborhoods and residents and will incorporate a range of uses that give each neighborhood park a unique identity. Brookfield has also coordinated with the Littleton Elementary School District (LESD) and has proposed a 15-acre school site on the Property. Six acres of the school site will be organized as open space with park amenities for joint use between the LESD and City of Avondale. The formative parks will be the most important aspect of the overall park system that provides direct access to neighborhoods and residents and will be strategically embedded in each grouping of neighborhoods.</p>



CIRCULATION ELEMENT:

GP GOAL	Brookfield Response
<p><u>Goal 1: “Provide a transportation system that is complimentary to the existing and planned land uses.”</u></p>	<p>The Property’s unique location at the convergence of the nearby rivers limits transportation circulation west of the Property and poses significant limitations south of the Property. As such, the plan’s proposed circulation solution allows the project to be designed as a unique, destination-oriented master planned community.</p>
<p><u>Goal 3: “Provide a transportation system that serves the public in a safe, efficient, and cost-effective manner.”</u></p>	<p>The Property’s unique location at the convergence of three rivers limits transportation circulation west of the Property. Additionally, the Estrella Mountains significantly limits transportation circulation south of the property. These geographical and physical conditions reinforce the desire to create a carefully crafted destination-oriented master plan. In addition to these site constraints another significant factor that impacts the overall proposed circulation plan is the timing and design for the proposed SR 30 alignment. Based on these issues it is expected that El Mirage Road will have a much lesser role to play in terms of local and regional connectivity.</p>



Goal 4: “Promote and support an integrated transportation system that mitigates congestion, fosters a sense of community, and preserves the environment.”

The circulation pattern proposed for the Property is intended to set the foundation for the community and establish a distinct sense of place. The primary access to the community will be from Broadway Road to El Mirage Road. These two roads have been planned to form a loop pattern which serves the community but reduces cut-through traffic in an intentional design that will preserve the long-term integrity of the community. The Property’s unique location at the convergence of three rivers limits transportation circulation west of the Property as well as significant limitations south of the Property. As such, the plan’s proposed circulation solution allows the project to sufficiently accommodate traffic, mitigate congestion while still allowing for a circulation pattern that will establish a unique, destination-oriented master planned community.

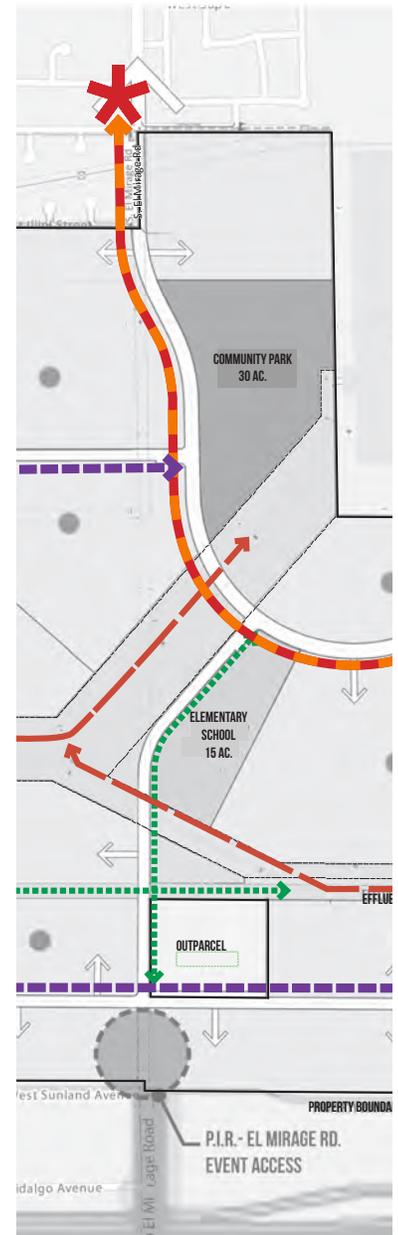
BICYCLING ELEMENT:

GP GOAL

Brookfield Response

Goal 1: “Develop a safe bicycle transportation system that provides connectivity throughout the City, including major public and private facilities, and to transit.”

The proposed community provides an extensive network of bicycle and pedestrian paths that make-up the overall system. Connectivity is planned throughout the community as well as with the larger, external Avondale and regional network. The network includes over 9.5 miles of trails, which will allow for biking, walking and jogging.



<p><u>Goal 3: "Increase recreational opportunities for bicyclists throughout Avondale."</u></p>	<p>The overall community trail system will be thoughtfully integrated with the Community Park to ensure convenient access for residents on foot or on bike. The proposed trail network is considered an 'active' transportation network that accommodates bicyclist, pedestrians and handicapped users.</p>
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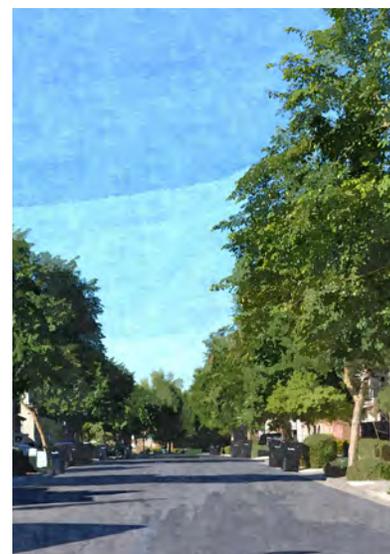


PUBLIC BUILDINGS, SERVICES, AND FACILITIES ELEMENT:

GP GOAL	Brookfield Response
<p><u>Goal 1: "Provide effective and efficient public safety services and facilities throughout Avondale."</u></p>	<p>Property for a public safety facility has been reserved along Avondale Boulevard directly north of the commercial center. This location has been coordinated with the City.</p>
<p><u>Goal 2: "Provide equitable and well-planned community value services and facilities throughout Avondale."</u></p>	<p>The Brookfield community enhances the equitable distribution of community services and facilities through the planning, design and development of a 30-acre community park site, three neighborhood parks, several smaller formative parks, extensive bike/pedestrian paths and the reservation of a K-8 school site as well as a public safety facility site. Each of these amenities have been thoughtfully planned throughout the entitlement process with City staff.</p>



<p><u>Goal 3: “Protect the community from flooding and plan for long-term, effective, and efficient storm water services.”</u></p>	<p>The Property is impacted by three floodplains along the east and south portions of the Property. Brookfield has proposed extensive design measures to mitigate the impacted areas. As part of the entitlement process, the developer is working with the City, MCFCD and FEMA to receive approval to proceed with the implementation of these measures as the Property develops. Once approved and implemented, these design measures will provide a long-term, effective and cost-efficient solution to protecting the property from flooding.</p>
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SAFETY ELEMENT:

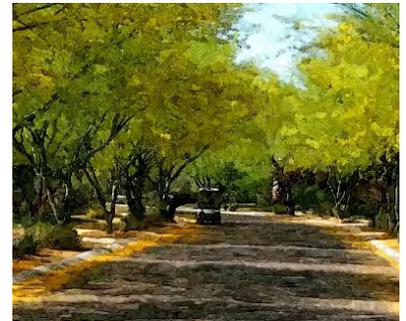
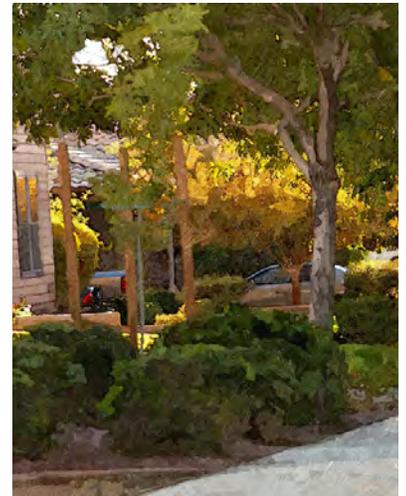
GP GOAL	Brookfield Response
<p><u>Goal 1: “Provide a safe and healthy environment for all Avondale residents, employees, and visitors.”</u></p>	<p>The overall community design fabric will provide a fresh and hip community scene that focuses on social engagement and healthy living. A spirit of health and wellness will be made easy with an abundance of opportunities to hop on a trail and connect with friends and neighbors.</p>
<p><u>Goal 5: “Continue to provide for the protection of life and property from the destruction of fire and to mitigate other life-threatening incidents.”</u></p>	<p>A fire safety facility location, coordinated with the City’s fire department, has been reserved along Avondale Boulevard directly north of the proposed commercial site. This location will have direct access to Avondale Boulevard which will improve response times in the southern portions of the City.</p>
<p><u>Goal 6: “Provide fire, advanced life support, and emergency medical services to all residents and visitors in the City.”</u></p>	<p>The proposed fire safety site on Avondale Boulevard will greatly enhance the City’s service area in south Avondale.</p>



WATER RESOURCE ELEMENT:	
GP GOAL	BBrookfield Response
<u><i>Goal 4: "Encourage efficient water use and conservation throughout the community."</i></u>	Although the landscape form and structure will have a formal feel highlighted by rows of trees on streets, in parks and along borders, the overall landscape palette will be appropriate for the desert environment and sensitive to the use of water.
URBAN DESIGN ELEMENT:	
GP GOAL	Brookfield Response
<u><i>Goal 1: "Identify and preserve Avondale's cultural resources and local sense-of-place."</i></u>	The Property is blessed with significant natural resources including the local river corridors and the Estrella Mountains to the south. These natural features will provide the foundation of the community theme, acting as the anchor to develop a distinct sense of place unique to Avondale. The community theme will a focus on health and wellness, community engagement and connections to nature. This will be achieved through several design features including the hierarchy of park space, the connection of these spaces through extensive paths and trails, as well as the fine design details such as lot orientation and road corridor layout that enhances and preserves view corridors.



<p><u>Goal 2: “Establish a positive and distinctive city image and identity by developing and improving focal points, gateways, specific areas, and major corridors.”</u></p>	<p>A proposed Heritage Site that is located near the south western portion of the Property along Dysart Road is included in the PAD. This project is envisioned as a living museum and event center that celebrates the farming and ranch heritage of the West Valley through the creative introduction of programs and activities that will educate City residents and guests about the past as well as the future of farming and ranching in Arizona. The Heritage site (to be developed by others) will provide a unique amenity contributing to a positive city image and focal point.</p>
<p><u>Goal 3: “Foster the idea of distinguishable urban neighborhoods and districts within Avondale.”</u></p>	<p>The focus on health and wellness will be realized through the design of family-friendly and multi-generational neighborhoods that are carefully integrated with an abundance of parks, trails and open space. These community amenities will encourage social engagement and place a premium on the opportunities to connect back to nature. We envision a creative interpretive art program integrated through the parks and trails that celebrates the geological history of the land, as well as the nearby mountains and rivers.</p>
<p><u>Goal 5: “Maximize housing opportunities in locations within a half-mile of transit, with good access to employment areas, neighborhood services, and public facilities in order to promote a healthy community both sustainable and economically.”</u></p>	<p>Overall trail network should provide connectivity throughout the community as well as linkage to the regional trail network.</p>



3. PROPOSED PLANNED AREA DEVELOPMENT (PAD)

3.1 PAD Overview

The PAD and accompanying master engineering reports (circulation, water, sewer, grading and drainage) are intended to provide the City with the development intent and justification for development of the Lakin Property. As such, the PAD and accompanying master engineering reports include all the applicable regulations including zoning classifications, development standards, and engineering standards necessary to administer the intended development. City zoning standards and engineering standards in effect at the time of submittal of any Preliminary Plat or Site Plan application for the Property which are not modified by the PAD and/or master engineering reports shall govern development of the Property.

In addition to the residential components of the project, the PAD includes several additional uses that will help to enrich the overall fabric of the community. These elements include the following:

- Neighborhood oriented commercial center located at the northwest corner of Avondale Boulevard and Broadway Road. While included in the PAD, this Property will remain in the ownership of LCC and CFLPP. The commercial center is envisioned to include a mix of commercial uses, including retail, restaurants, and office that can serve the community and the southern portion of the City.
- A public safety facility located along Avondale Boulevard directly north of the commercial center. Brookfield has coordinated with the City and the Fire Marshal as to a preferred location for a public safety facility within the Property. This location has direct access onto Avondale Boulevard.
- Brookfield has coordinated with the Littleton Elementary School District (LESD) and has proposed a 15-acre school site on the Property. Brookfield understands the importance of schools to a community's well-being and believes that the elementary school will be a significant asset to the overall fabric of the community. In addition, Brookfield is in discussions with both the City and the LESD on potential opportunities for co-locating open space and recreation improvements within the context of or adjacent to the school site. This will likely include a co-use agreement to allocate improvement costs and govern operational and maintenance responsibilities.
- Brookfield and the City have coordinated regarding the location for community park to be located along the east side of El Mirage Road. The 30-acre plus community park location aligns with the City's Park Department's need for a community park in the southern portion of the City. Brookfield specific has coordinated with staff on preliminary program components of the park as well as Brookfield's commitments to assist with the land dedication and improvements to the park.
- A series of neighborhood parks and formative parks for residents will also be integrated into the overall community design. The Parks and Open space section of this PAD provides details on park and open space design.
- An integrated path and trail system to provide connectivity throughout the community.

- A proposed Heritage Site that is located near the south western portion of the Property along Dysart Road. While included in the PAD, this property will remain in the ownership of LCC and CFLPP. The Heritage Site is envisioned as a living museum and event center that celebrates the farming and ranch heritage of the West Valley through the creative introduction of programs and activities that will educate City residents and visitors about the past as well as the future of farming and ranching in Arizona.

Lakin PAD Amendments

Amendments to the PAD may be necessary from time to time to reflect changes in market conditions or to meet requirements of potential users or builders of any part of the Property. When changes or adjustments are necessary or appropriate such change shall be effectuated as a minor amendment to the PAD through an administrative approval by the City's Development and Engineering Services Director (the "Development Director") which, after approval, shall be incorporated into the PAD and become a part hereof. All major amendments to the PAD shall be subject to the then applicable notice and public hearing requirements of the City's zoning ordinance. The following shall be deemed to be major amendments:

1. An overall increase or decrease of commercial acreage of greater than ten percent for the Property.
2. An overall increase in residential unit count for the Property;
3. The reallocation of residential units between Planning Units of greater than twenty percent of the total number allocated to such Planning Unit;
4. Any change in the lot size mix within a Planning Unit which is deemed substantial by the Development Director.

3.1.1 Purpose of the Request

The PAD encompasses the approximately 1,124 net acres identified in the Land Use and Development Plan. All proposed components are necessary to achieve the stated goal of creating a comprehensive community master plan for the Property. Specifically, the PAD allows for the following:

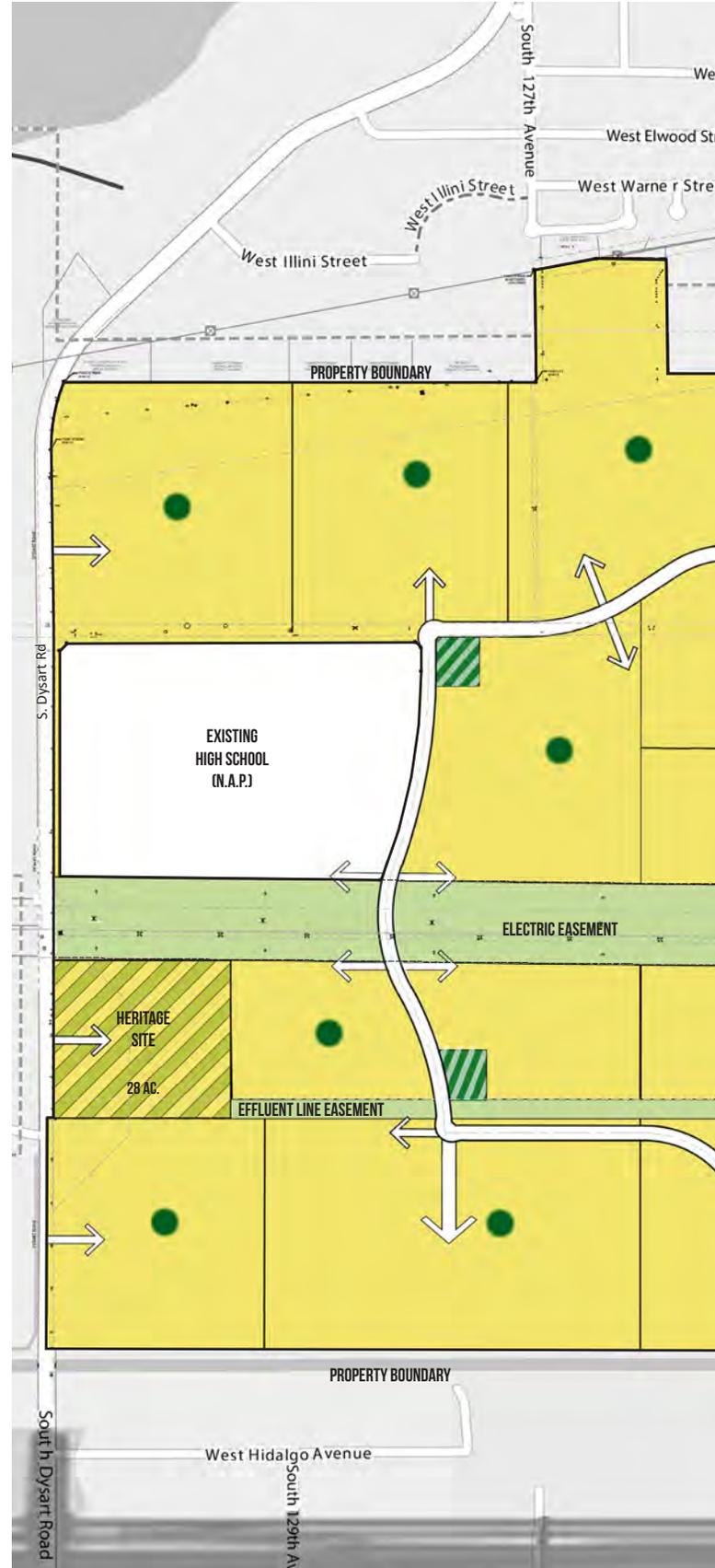
- A blended fabric of residential lot sizes and associated housing products;
- Refined uses and development standards for the range of anticipated housing products;
- Updated circulation system and associated hierarchy of roadway design and updated street cross-sections;
- New Residential Design Guidelines that are aligned with the overall design intent and design themes established for the Property;
- Commercial retail related uses, standards and design guidelines that best complement the overall intent of the Property;
- Put in place the mechanisms necessary for the logistical coordination of the associated Project Annexation and Development Agreement, the Community Facilities District, etc;
- Identification of engineering design standards that vary from current City standards;
- Establish a process for review and approval of minor changes to the Development Plan.

3.2 Proposed Land Use Development Plan

The Development Plan provides the framework for all the key components for developing a master planned community including: circulation, land use, parks and open space and overall context. The Development Plan includes design information necessary for the City to analyze, measure and evaluate stages of development associated with this PAD. The PAD is organized in a manner that allows for critical review and approval throughout the actual development of the community. The proposed plan is flexible to allow the development to respond to the market but includes a high level of design to ensure the development maintains a consistent level of quality throughout the Property.

LEGEND	
	RESIDENTIAL
	COMMERCIAL
	SCHOOL
	PUBLIC / CIVIL
	HERITAGE SITE
	COMMUNITY PARK
	FORMATIVE PARK
	NEIGHBORHOOD PARK
	OPEN SPACE
	OUTPARCEL

MAX. ALLOWABLE UNIT COUNT PER CURRENT GENERAL PLAN: 4,212 UNITS
TARGET DENSITY BASED ON LAND USE BUDGET: 3,695 UNITS



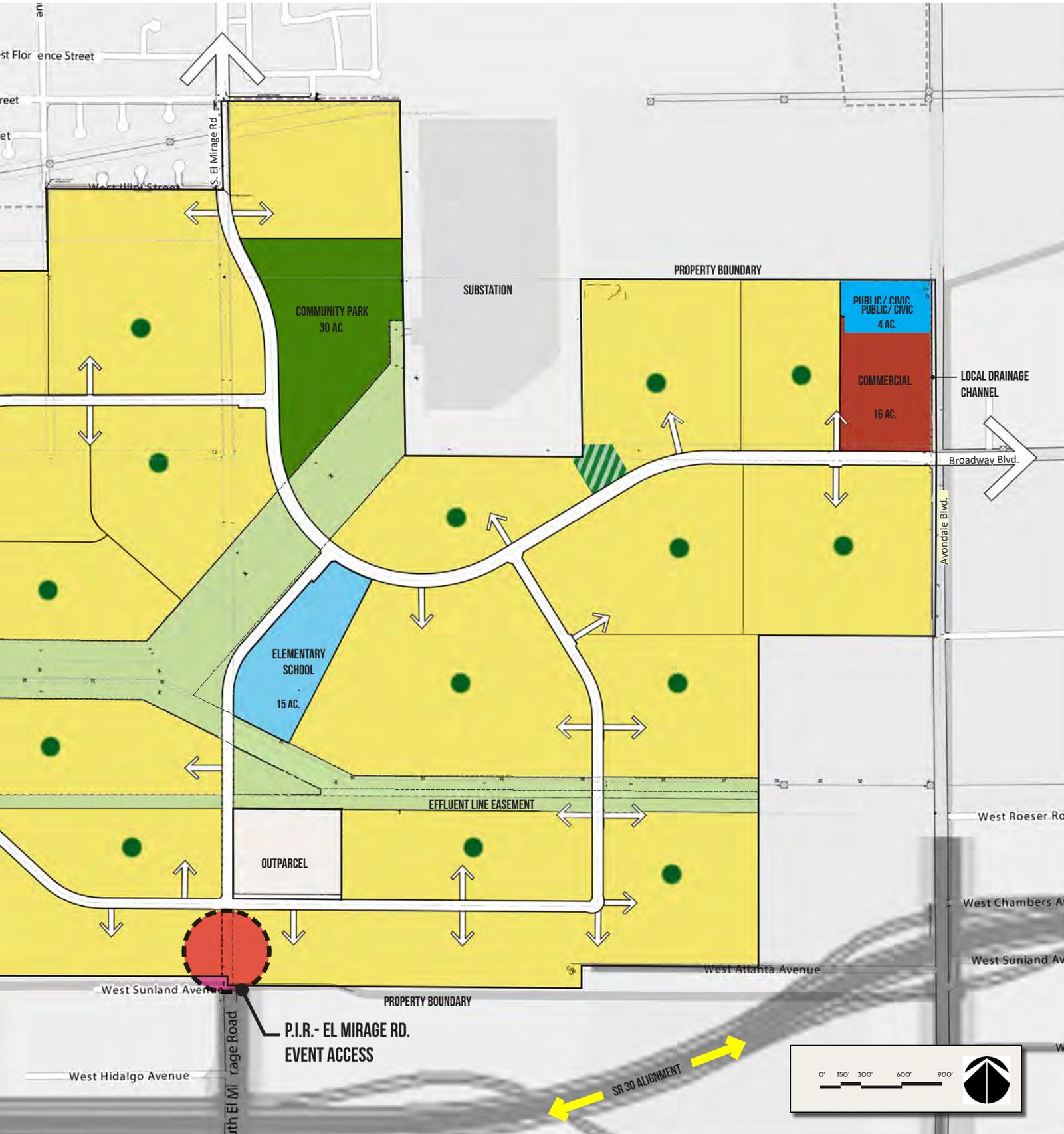


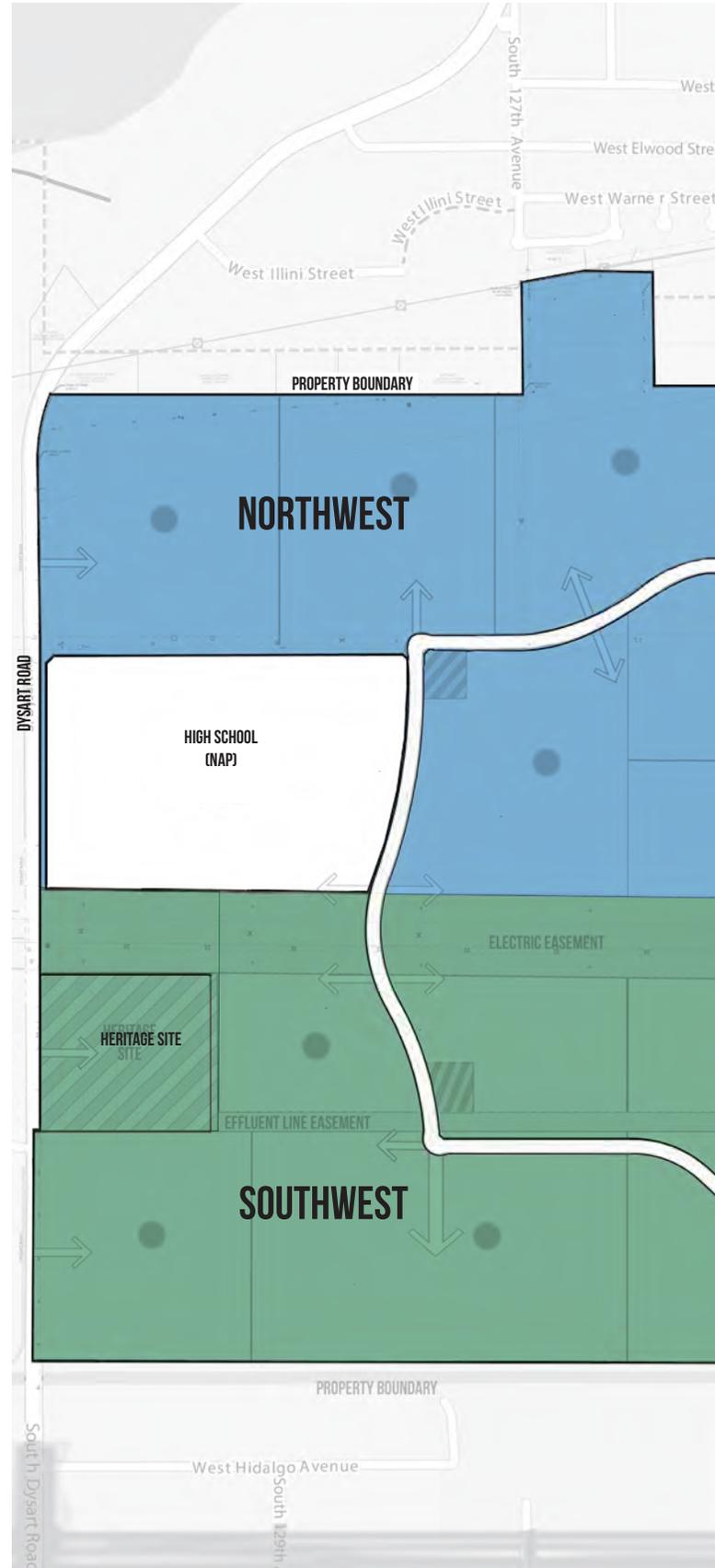
Exhibit #5- Land Use Development Plan

3.2.1 Residential Land Use Budget

The following Planning Unit diagram and Land Use Budget establishes the baseline parameters for the Property associated with density, lot size and product distribution. The Land Use Budget is organized for the overall residential development area and establishes density ranges within each Planning Unit. The Land Use Budget provides parameters for overall density and ensures that a variety of land use densities occur in incremental stages that align with the overall total units allowed. The Land Use Budget and ranges of lot sizes will be reviewed and evaluated by the City as part of the preliminary and final plat process to ensure compliance with the PAD.

The Planning Unit diagram is not intended to relate the development with phasing. (Conceptual Phasing Plan is provided later in this document.) The Land Use Budget proposes a higher average density in the Northeast Planning Unit which is compatible and consistent with densities adjacent to non-residential uses and external impacts. Alternatively, the Southwest Planning Unit is a less impacted area of the overall project, therefore a lower density is proposed in this Planning Unit.

LEGEND		
	SOUTHEAST	319 ACRES
	NORTHEAST	185 ACRES
	NORTHWEST	321 ACRES
	SOUTHWEST	299 ACRES
TOTAL:		1,124 ACRES



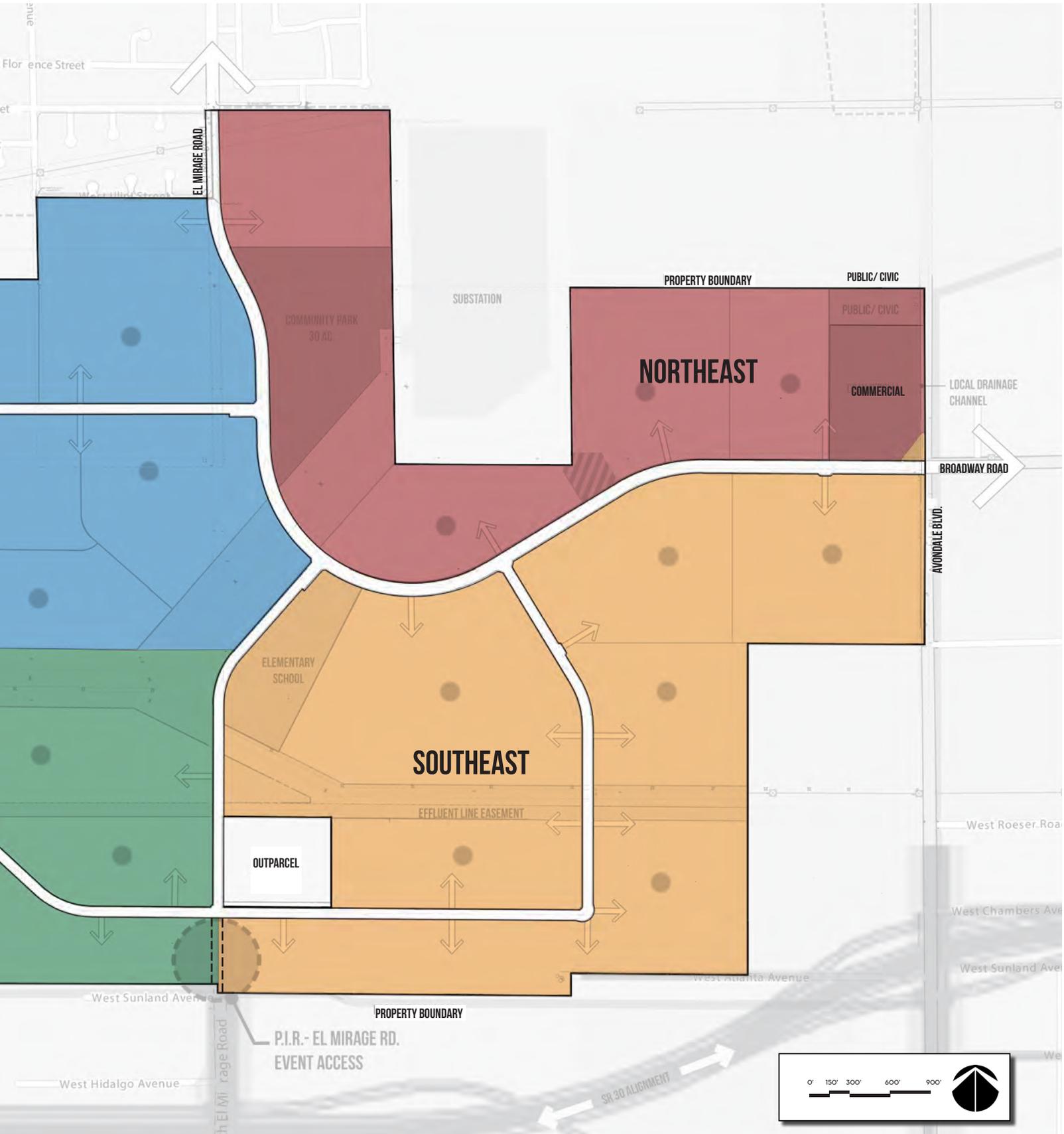


Exhibit #6 - Planning Units

Residential Land Use Budget

Category	Gross Density (du/ac)		Lot Size (sf)		Allocation (%) ⁽³⁾		Lakin Property # Units ⁽³⁾	
	Min.	Max.	Min.	Max.	Min.	Max.	Min.	Max.
High	8	12	1,000	2,500	5%	10%	185	370
Medium High	4	8	2,500	6,000	15%	33%	554	1,219
Medium	3	5	6,000	7,500	25%	35%	924	1,293
Medium Low	2	3.5	7,200	9,000	25%	35%	924	1,293
Low	1	2.5	9,000	43,560	12%	25%	443	924
TOTAL # UNITS							3,695⁽¹⁾⁽²⁾	

Planning Units ⁽⁴⁾ ₍₅₎							
Southeast		Northwest		Northeast		Southwest	
Min. - Max.		Min. - Max.		Min. - Max.		Min. - Max.	
0 - 5%		0-12%		30-45%		0-2%	
20-35%		30-40%		40-60%		10-30%	
25-40%		25-35%		0-10%		30-40%	
20-40%		20-30%		0-10%		25-35%	
10-20%		12-20%		0-5%		25-35%	
893	1,607	973	1,569	410	761	775	1,101
1,190		1,145		585		775	

Notes:

1. The total number of dwelling units permitted at the Lakin Property will not exceed 3,695.
2. Total allowable number of units per General Plan is 4,212.
3. The allocated minimum and maximum percentages for the total number of units overall is not additive and the total number of units will not exceed 3,695.
4. Minimum and maximum percentages within each Planning Unit are based on the total number of units for that Planning Unit.
5. Dwelling units may be re-allocated between different Planning Units provided such re-allocation does not increase the receiving Planning Units by more than 20%.

3.3 Proposed Uses

3.3.1 Residential Uses

The proposed residential uses have been organized in five specific categories that range from low density residential through high density residential. The categories are described below and represent the spectrum of the associated lots and building products that are anticipated for Property.

- Low Density Residential
- Medium Low Density Residential
- Medium Residential
- Medium High Density Residential
- High Density Residential

Low Density Residential (LDR)

As part of the fabric of the envisioned community, a critical degree of executive housing and larger lots are being planned. Based on research to date, analysis of similar scenarios in the market, discussions with the home builder industry and an analysis of potential comparable projects, Brookfield believes that smaller lots sizes will greatly expand the current offering of executive housing in the market. In addition, the PAD will allow for even larger lots based on market conditions and economic demand. Phase One development is expected to include LDR lots. The majority of these homes will be a single story but also include opportunities for second story lofts and full second story living spaces.



Medium Low Density Residential (MLDR)

A significant portion of the community will be made up of traditional MLDR which will be targeted to move-up buyers as well a growing families that need larger living space. These homes will likely be an even mix of one story and two-story living options. MLDR homes will have higher price points, but provide a more cost effective alternative to the executive housing associated with LDR.

Medium Density Residential (MDR)

MDR will be a major component of the housing options within the community. The MDR is anticipated to be an even mix of one story and two-story homes and will likely be geared to first time, move-up buyers, empty nesters and young families. Each of these considerations will be included in the associated development standards for MDR.

Medium High Density Residential (MHDR)

MHDR can be characterized by more traditional lots and home sites common to new housing communities in the market. This category provides for some less traditional size lots which will be organized in creative lots clusters such as drive courts, green courts, alley loaded scenarios and wide shallow lots.

High Density Residential (HDR)

Because of the intensity of use, HDR will be limited to certain areas of the community that are most conducive to higher density. This may include areas in close proximity to the planned Commercial Retail Center, the Community Park and possibly the school site. These HDR products may include alley loaded single family detached and attached units (townhomes), as well as creative drive court and green court products organized in 4/6 and 8-pack clusters of small lots. All creative clusters will be carefully organized with convenient access to amenities and adjacent open space. Higher density products, such as multi-family residential may be developed on the Property if market forces and economic conditions allow.

TABLE 1 - Residential Permitted Uses

Land Use Matrix*	HDR	MHDR	MDR	MLDR	LDR
Permitted Principal Uses:					
Child care in the home for four or fewer children not related to the residents as an accessory to the primary residential use of the dwelling	P	P	P	P	P
Child care in the home for five to ten children not related to the residents as an accessory to the primary residential use of a dwelling	C	C	C	C	C
Child Care Center in conjunction with a Place of Worship or School	C	C	C	C	C
Community garden, 1-acre or less	P	P	P	P	P
Cultural Mixed-Use**	N	N	P	P	P
Guest house	N	N	N	N	PC
Group Home	P	P	P	P	P
Home Occupation, as an accessory to the primary residential use of a dwelling.	PC	PC	PC	PC	PC
Multi-family dwelling	P	N	N	N	N
Oversized garage for Recreational Vehicle (RV) parking	N	N	N	N	P
Park and recreation areas, public	P	P	P	P	P
Place of Worship	PC	PC	PC	PC	PC
Public utility facility required for local service	PC	PC	PC	PC	PC
Public utility facility with the exception of those allowed as a Use Permitted with Conditions above	C	C	C	C	C
School, private***	P	P	P	P	P
School, public***	P	P	P	P	P
Single-Family detached dwelling	P	P	P	P	P
Single-Family attached dwelling	P	P	N	N	N

* Uses that are Permitted with Conditions and Permitted with a Conditional Use are contained in Section 2 - Residential Districts in the City of Avondale Zoning Ordinance.

** Cultural Mixed-Use applies to the Heritage Center site and underlining zoning shall be residential.

*** Schools can be located within open space areas.

P: Permitted, "C": Conditional Use Permit required, "PC": Permitted with conditions, "N": Not Permitted

Uses Permitted With Conditions (PC)

A. Guest House is allowed in LDR residential Zoning Districts provided that:

1. A guest house shall not be sold separately from the principal residence.
2. A separate address, water meter, utility meter, driveway or parking area shall not be provided for the guest house.
3. The materials, colors and architectural style of the guest house shall be similar to the principal residence.
4. The livable floor area of the guest house shall not exceed fifty percent of the livable floor area of the principal residence.
5. A detached guest house shall meet the location, height and setback requirements in Section 7 of the Zoning Ordinance.
6. The Department shall maintain an administrative record that includes a site plan and a floor plan for each guest house with approved construction plans. The separate Design Review process outlined in Section 1 of the Zoning Ordinance is not required for guest houses.

B. Home Occupations are allowed in certain residential Zoning Districts, provided that in addition to all of the use limitations applicable in the Zoning District in which the home occupation is located, no home occupation shall be permitted unless it complies with the following restrictions:

1. No more than twenty five percent or four hundred square feet of the floor area of the dwelling unit, whichever is less, shall be devoted to the home occupation.
2. The home occupation shall be conducted entirely within the principal dwelling unit or in a permitted accessory building thereto, and in no event shall such use be apparent from any public way.
3. There shall be no signs, no exterior display, no exterior storage of materials, and no other indication of the home occupation or variation from the residential character of the principal building.
4. No mechanical, electrical or other equipment that produces noise, electrical or magnetic interference, vibration, heat, glare or other nuisance outside the residential or accessory structure shall be used.
5. No home occupation shall be permitted that is noxious, offensive or hazardous by reason of vehicular traffic, generation or emission of noise, vibration, smoke, dust or other particulate matter, odorous matter, heat, humidity, glare, refuse, radiation or other objectionable emissions.
6. Any need for parking generated by the home occupation shall be off-street. The Zoning Administrator shall determine the number of parking spaces required based on the parking provisions of this Section.
7. No business vehicle shall be used in connection with the home occupation for delivery of goods to or from the premises. This provision does not preclude the delivery of mail or packages by the Postal Service or other private delivery service.
8. A maximum of one vehicle used in conjunction with the home occupation is permitted to be kept, garaged, or stored at the residence.
9. There shall be no merchandise or commodity sold upon the premises.
10. If the home occupation employs persons other than the family members residing in the dwelling used for the home occupation, such other employees shall not work in the dwelling used for the home occupation.

11. Such occupation shall not require internal or external alterations or construction features or equipment or machinery not customary in residential areas.
12. The activity shall not generate traffic beyond that which is normal in its district.

C. Places of Worship shall be located on an arterial street or at the intersection of two collector streets.

D. Public utility facility required for local service is allowed in certain residential Zoning Districts provided that:

1. It is required for local service.
2. There are no offices, maintenance facilities, outdoor storage or part-time employees related to the site.

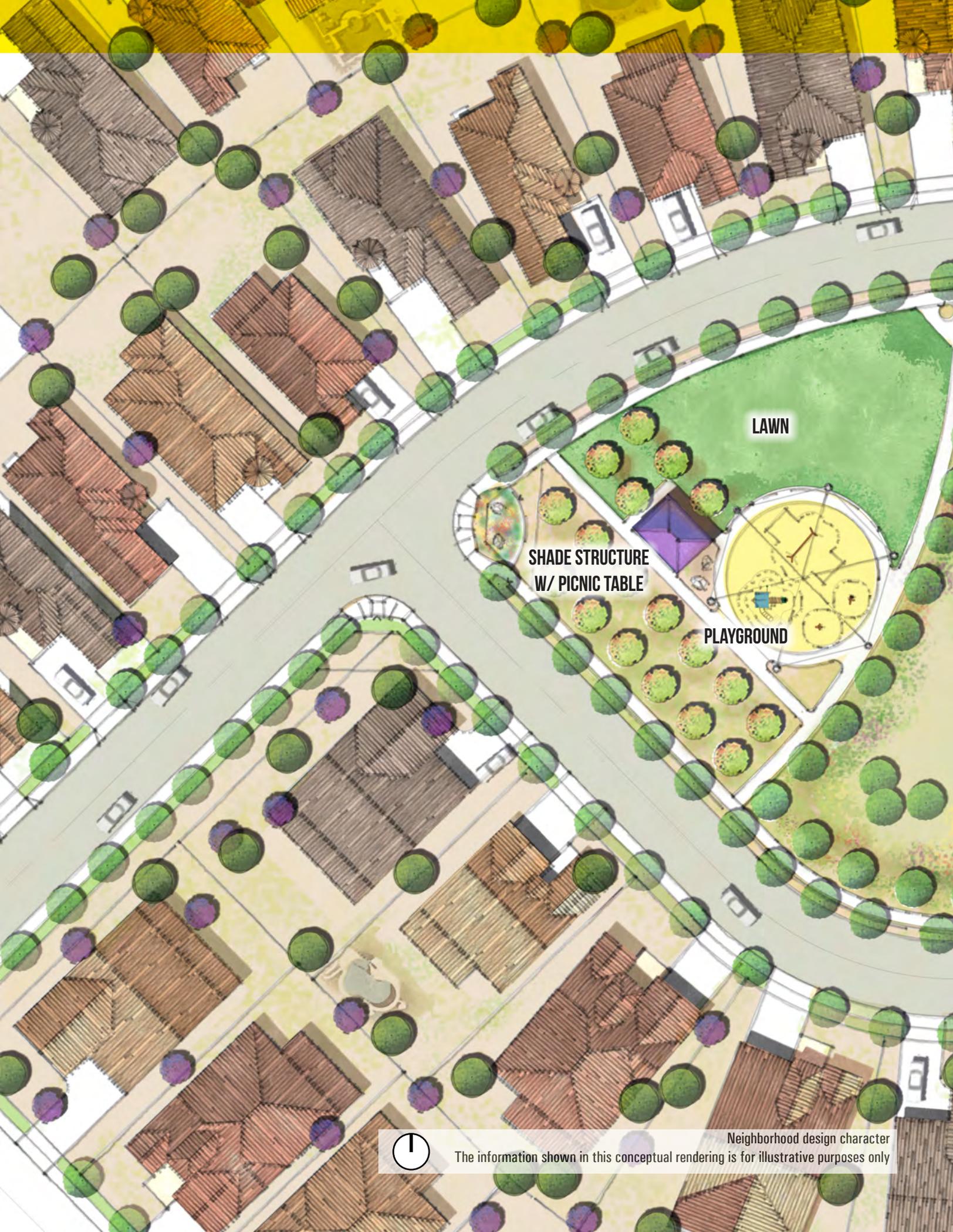
Uses Permitted With a Conditional Use Permit

A. Child care in the home for 5 to 10 children not related to the residents may be permitted as a conditional use in certain residential Zoning Districts provided that:

1. The residential character of the exterior of the structure shall be maintained.
2. Signs related to the home child care shall not be allowed.
3. All required licenses, certifications and registrations shall be obtained from the appropriate State or County agency prior to issuance of a business license.
4. All requirements of the City of Avondale Building Code, Fire Code and Zoning Ordinance as amended shall be complied with prior to issuance of a business license.
5. Existing garages, carports or driveways shall not be expanded, enclosed or otherwise modified to accommodate this accessory use.
6. All outdoor recreation areas shall be completely enclosed by a 6-foot high masonry wall with self-closing and self-locking gates.
7. All swimming pools shall be secured by a barrier in conformance with the Arizona State Statutes and International Building Code (IBC), as amended.
8. Notification of the conditional use permit application shall be made to the subject home owners' association management prior to the neighborhood meeting.

B. Child Care Center in conjunction with a Place of Worship may be permitted as a conditional use in certain residential Zoning Districts provided that such activities are on the same lot and share joint use of worship facilities. Independent free-standing signs and wall identification signs for the child care center are not allowed.

C. Public utility facility, with the exception of those allowed as a Use Permitted with Conditions above, may be permitted in certain residential Zoning Districts as a conditional use.



LAWN

SHADE STRUCTURE
W/ PICNIC TABLE

PLAYGROUND



Neighborhood design character
The information shown in this conceptual rendering is for illustrative purposes only

3.3.2 Non-Residential Uses

Commercial Uses

As identified previously, the PAD includes an approximately 16-acre commercial parcel located on the northwest corner of Avondale Boulevard and Broadway Road. The commercial parcel is anticipated to include both neighborhood oriented uses as well a regional commercial uses. A commercial parcel of this size could accommodate a large grocery (40,000-60,000 square feet) as well as numerous sizes and varieties of additional complementary uses. The associated development standards have been established to allow for both single story uses as well a vertically integrated mix of uses (i.e. a ice cream shop on the ground floor and a dentist office on the second floor). Once the PAD is approved, LCC/ CFLP will direct the next stages of development associated with the commercial parcel and the site plan approval process.



TABLE 2	
C-1 - Neighborhood Commercial Permitted Uses	
Land Use Matrix*	
Administrative and Financial Uses:	
Banks and financial institutions without drive-through, excluding non-chartered financial institutions	P
Banks and financial institutions with drive-through, excluding non-chartered financial institutions	PC
Professional offices	P
Automobile Related Uses	
Automobile rental facility with no on-site storage	P
Eating and Drinking Establishments	
Outdoor Dining	A
Restaurant, with drive-through	PC
Restaurant, without drive-through	P
Sidewalk Café	A
Education, Religious and Institutional Uses	
Child care center	C
Community garden, 1-acre or less	P
Employment agencies excluding day labor	P
Libraries	P
Places of worship	P
Preschools and similar uses	C
Public service and non-profit community use	C
Public Uses	P
Public utility buildings, structures, uses, facilities and equipment	PC
Entertainment and Recreation Uses	
Health and exercise center	PC
Social/ private clubs	PC
Theater, excluding movie theater	C

* **P**: Permitted, **C**: Conditional Use Permit required, **PC**: Permitted with conditions, **A**: Accessory Use

C-1 - Neighborhood Commercial Permitted Uses (Cont.)	
General and Intense Retail Uses	
Antique store	P
Business support services - photocopy, office supply stores, and package delivery services	P
Non-consignment secondhand retail store	P
Retail sales of new merchandise within enclosed buildings, excluding liquor stores	P
Medical	
Emergency medical care facility	P
Massage therapy (medical)	P
Medical, dental or health offices, clinics and laboratories, excluding plasma centers and medical marijuana uses	P
Veterinary hospital, offices and clinics, excluding animal boarding	PC
Mixed Use	
Residential, upper floor	P
Personal Services	
Art studio	P
Barber shop/Beauty Salon	P
Clothing alteration, custom dressmaking or tailor shop	P
Dance studio	P
Dry cleaning and laundry establishment, pick-up and drop-off only	P
Massage or day spa	P
Music studio	P
Nail salon	P
Real estate office	P
Specialty services	P
Tanning salon	P
Ticket and travel agency	P

* Uses that are Permitted with Conditions, Permitted with a Conditional Use, Accessory Uses are contained in Section 3 - Commercial Districts in the City of Avondale Zoning Ordinance.

* P: Permitted, "C": Conditional Use Permit required, "PC": Permitted with conditions, "A": Accessory Use

Uses Permitted With Conditions (PC)

A. Automobile rental facility with on-site storage is allowed in certain commercial zone districts provided that:

1. No more than six vehicles shall be stored on site in association with an office location that is part of a commercial center, or commercial complex that includes retail uses.
2. Vehicle storage shall be limited to paved areas and shall not occupy required parking spaces or drive aisles.
3. Accessory uses, such as vehicle washing, refueling stations, and minor maintenance garages, may be allowed on site only if such uses are screened from off-site view and are not used by the general public. Such uses shall be designed and sited as to limit the noise impacts to surrounding properties.
4. Storage of vehicles shall be screened from off-site view by a 3-foot or taller screen wall.

B. Banks and financial institutions without drive-through, excluding non-chartered financial institutions, are allowed in certain commercial zone districts provided that:

1. Banks and financial institutions included within an office building shall not occupy more than 25 percent of the gross floor area.

C. Drive-through uses, including restaurants and financial institutions are allowed in certain commercial zone districts provided that:

1. Payment and/or pick-up windows shall not face arterial streets unless obscured through allowable screening material as approved by the Zoning Administrator.
2. Drive-through lane canopies shall be included covering any payment or pick-up windows. Canopies shall be fully architecturally integrated in to the building consistent with the requirements of the Design Manuals.
3. Portions of a drive-through lane that are adjacent to an arterial street shall be screened by a minimum 3-foot tall wall, berm, or alternative screening method.
4. Speaker boxes shall be located a minimum of 70 feet from any residentially zoned property or residential use.
5. Drive-through lane queuing length shall be approved in accordance with a traffic study as approved by the City Engineer.

D. Health and exercise centers are allowed in certain commercial zone districts provided that:

1. Health and exercise centers located within neighborhood shopping centers shall be limited to no larger than 7,000 square feet in area.

E. Public utility buildings, structures, uses, facilities and equipment are allowed in certain commercial zone districts provided that:

1. Sites shall be screened from off-site view by a minimum 6-foot tall masonry wall. Screen wall may be required to be 8-foot tall as determined by staff. All screen walls shall comply with wall standards set forth in the Design Manuals.

F. Social/Private Club is allowed in certain commercial zone districts provided that:

1. Any restaurant or bar operated in connection with a social/private club shall be an integral part of a principal building, shall have no public entrance except from within the building and shall make no exterior display or advertising of any commercial activity, however incidental.

G. Veterinary hospital, offices and clinics, excluding animal boarding are allowed in certain commercial zone districts provided that:

1. Clinic activities shall be restricted to the medical care and treatment of small animals during regular office hours. The confinement of such animals on the premises shall be limited to essential and occasional overnight care and shall be entirely within enclosed structures. The boarding and breeding of animals shall be prohibited.
2. Clinics shall be constructed to be completely contained as to prevent emission of any noise or odor.
3. Outdoor runs or exercise pens shall be prohibited unless approval from the Zoning Administrator or designee is obtained prior to site plan submittal. Additionally, no outdoor runs, pens or enclosures shall be located closer than 100 feet to any street, residential district or existing restaurant or hotel.

Public Safety Facility

A public safety facility has also been located along Avondale Boulevard directly north of the planned commercial center. Brookfield has coordinated with the City and the Fire Chief as to a preferred location within the Property. This location also provides direct access onto Avondale Boulevard.



Elementary School

Brookfield has also coordinated with the Littleton Elementary School District (LESD) and has proposed a 15-acre school site on the eastern half of the Property. Six acres of the school site is anticipated to be for open space and outdoor recreation. Brookfield understands the importance of schools to a community's well-being and believes that the elementary school will be a significant asset to the overall fabric of the community. In addition, Brookfield is in discussions with the City and the LESD on the potential opportunities for co-locating open space components within the context of the school site. This would likely include a co-use agreement relative to specific open space components in order to address use, safety, maintenance and development costs.



Heritage Center Site

The concept for the “Farm and Ranch Experience Heritage Center” was developed in 2006 to honor Arizona’s agricultural heritage, pioneering spirit and ranch experience. This cultural mixed-use project will be designed to preserve the traditions and contributions of agriculture in Arizona. It will serve as a place where people will learn about Arizona’s agricultural history through educational programs for the community, elementary and high school students.

The Heritage Center will be developed by the Lakin Family and is currently planned and designed to include the following features:

- Parking Orchard
- Children’s Learning Center
- Tractor Museum
- Conference Center
- Farmer’s Market
- Heritage Museum
- Gathering Plaza and Rose Garden
- Butterfly and Dragonfly Pavilion
- Corral and Blacksmith Shop
- Plow Field Event Lawn
- Event Staging and Parking
- Agricultural Educational



Source: The Arizona Farm and Ranch Experience website
www.azfare.org



"It's spring at the farm, and the road that leads to the farm is lined with Cottonwood trees. Their branches seemingly grow into the sky as leaves are beginning to sprout. The gnarled roots of each tree are a tangle of tentacles that disappear into the slow, flowing irrigation canal from which they drink. A decorative metal gateway with the inscription "Arizona Farm and Ranch Experience - Heritage Center" lets farm-seekers know they have arrived."

3.4 Open Space

A key component of the overall community design is the integration of open space and the associated hierarchy of parks as well as the overall trail system. This sophisticated open space and parks system reinforces the overall community themes with a focus on health and wellness, community engagement and connections to nature.

3.4.1 Open Space Framework Plan

The Open Space Plan illustrates the locations, configurations and arrangement of open space and parks identified for the community. In addition, the map highlights the relationship between parks, open space and trail connections. The following pages provide detailed descriptions for the community park, the neighborhood parks, the formative parks as well as the trails network.

LEGEND	TOTAL AC.
 ELEM. SCHOOL PARK AMENITY	5-6 AC.
 FORMATIVE PARK: 1/4 AC. +/-	4-5 AC.
 NEIGHBORHOOD PARK: 3 AC. +/-	9-10 AC.
 COMMUNITY PARK: 30 AC. MIN.	30 AC.
 HERITAGE SITE: 28 AC. +/-	28 AC.
 POWERLINE EASEMENT	81 AC.
 EFFLUENT EASEMENT	22 AC.
TOTAL AREA: 182 AC.	





Exhibit #7 - Open Space Plan

In addition, the identified school site is slated for 15-acres. Six acres of the school site is anticipated to be organized as open space for park amenities. Brookfield has coordinated with the Littleton Elementary School District (“LESD”) and has identified a mutual interest to co-locate community amenities that can be utilized by the school as well as residents of the community. If Brookfield is not able to negotiate a use agreement with the LESD, then Brookfield will provide an additional 6-acres of park area within the overall development.

Park Program Elements

Brookfield has carefully organized the hierarchy of open space and parks (as well as trails), in order to provide a broad spectrum of recreation opportunities throughout the community. All parks will be thoughtfully designed to serve different age groups and different users. The adjacent table of Park Elements, while at a conceptual stage, provides the basis for all the envisioned activities to be included. Particularly, Brookfield has developed these Park Elements with the input of City Staff.



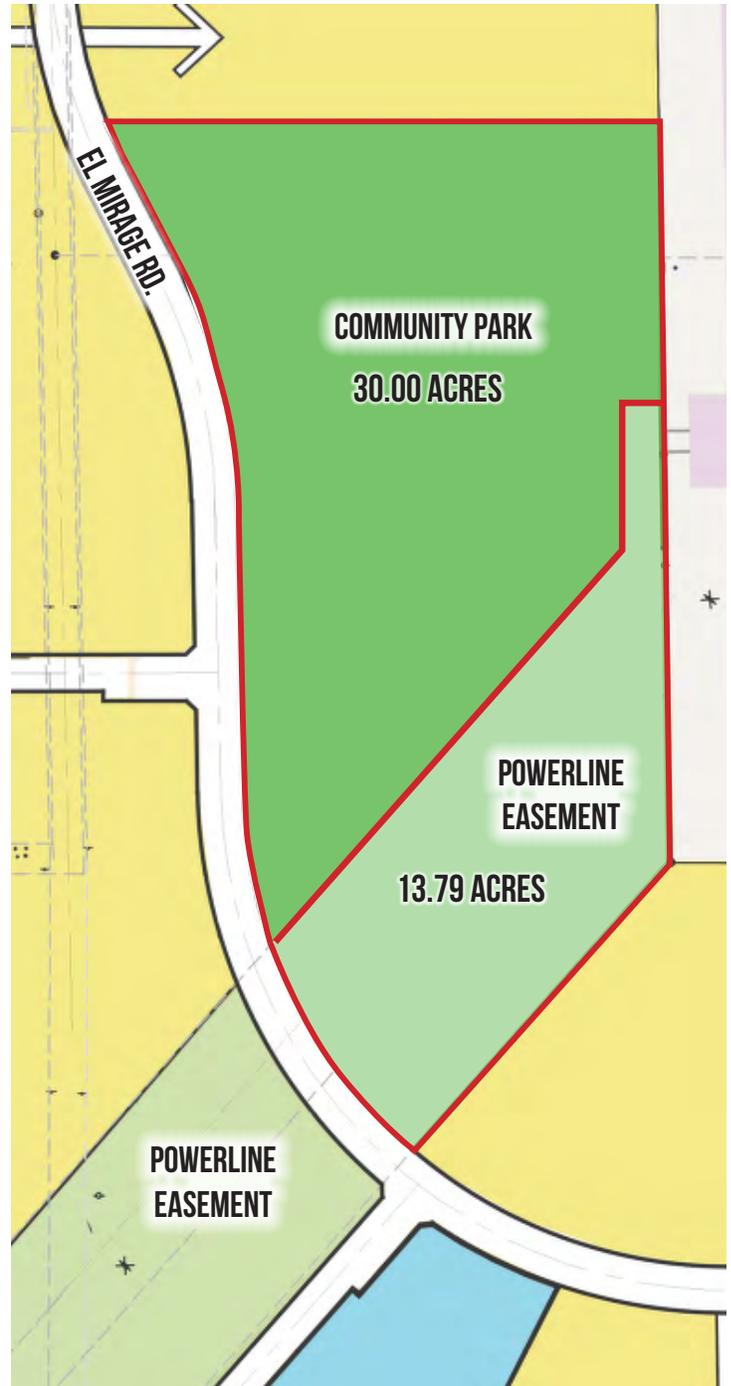
	PARK TYPE			
	FORMATIVE PARK	NEIGHBORHOOD PARK	ELEMENTARY SCHOOL PARK	COMMUNITY PARK
Accent Lighting (safety/ aesthetics/ sports fields)	•	•		•
Amphitheater (need power access for special events)		•	•	•
Arbor / Trellis (maintenance issue)	•	•		
Barbeque	•	•		•
Baseball field (youth focus)				•
Basketball Court (youth focus)			•	•
Bike Parking		•	•	•
Climbing Wall (as part of playground)				•
Creative Play (as part of playground)	•	•	•	•
Dog Park				•
Drinking Fountain (as part of comfort station)		•		•
Emergency Access		•		•
Football Field (as part of multi-purpose field)				•
Front Yard Feel	•			
Great Lawn (informal passive)		•		•
Iconic Vertical Elements		•		•
Large Outdoor Fitness				•
Large Playground (K-5 & 5-12)			•	•
Large Shade Structure		•		•
Little League Baseball				•
Maintenance Yard/ Shed				•
Multi-Use Sports Field			•	•
Native Planting Areas (sensitive to water, soil & location)				•
Nature Trail/ Multi-trail system/ D.G.				•
Park benches & Seating Areas	•	•	•	•
Parking (50 spaces per field. Maybe 300+ spaces)		•	•	•
Passive Turf		•	•	•
Pickleball Court				•
Picnic Shelter		•		•
Plaza w/ shade trees	•	•	•	•
Pole Lighting (pedestrian)		•		•
Pond (irrigation/ fishing)				•
Ramada/ Picnic area				•
Restroom				•
Sculpture / Art	•	•	•	•
Signage		•	•	•
Skate Park/ Bike Park: BMX				•
Small Outdoor Fitness			•	
Small Playground		•		
Small Shade Structure	•	•	•	
Small Turf Lawn	•			
Soccer Field (as part of multi-purpose field)				•
Space for Food Trucks		•		•
Splash Pad				•
Storage Facility				•
Storm Water Storage			•	•
Strolling Pathways				•
Tennis Court				•
Volleyball Court				•
Walls / Fence			•	

PARK ELEMENTS

Community Park

The City and Brookfield have agreed to mutually work together to fund and develop a new City owned and operated Community Park near the north central portion of the Property directly east of the El Mirage Road alignment. While not finalized, the park is envisioned to include a range of amenities to meet the needs of the entire Avondale community. An emphasis on baseball fields and multi-use fields will likely dominate the program and include a full spectrum of park features including: comfort station, playgrounds, ramadas, soccer field, informal lawn areas, lawn games, basketball courts, splash pad, dog park, tennis courts and a potential lake. The Community Park will be designed with a generous landscape palette for shade and accent. Furnishings will include drinking fountains, benches, shade structures and a range of walking surfaces. Parking and vehicular access and circulation will be organized in a safe and convenient manner.

The total Community Park acreage has been identified for 30-acres outside of the power-line easements as illustrated on the next page. The adjacent utility corridor (at the south end of the park) will provide additional opportunities for detention, parking, informal fields and trail connections. The overall community trail system will be thoughtfully integrated to ensure convenient access to the Community Park for residents on foot or on bike.



N.T.S



Exhibit #8 - Community Park Acreage



Community Park Conceptual Bubble Diagram

While still conceptual in nature, the adjacent conceptual diagram provides a visual reference as to the overall possible framework of the Community Park. Access, circulation, parking, field location and orientation, and additional features and amenities have been organized based on best practices. In addition an abundance of trails and pedestrian connections are envisioned for convenient access for neighboring residents.

Note, while the utility easements are not included in the 30- acres identified for the Community Park, Brookfield will strategically incorporate park components in order to maximize recreation opportunities.





N.T.S 

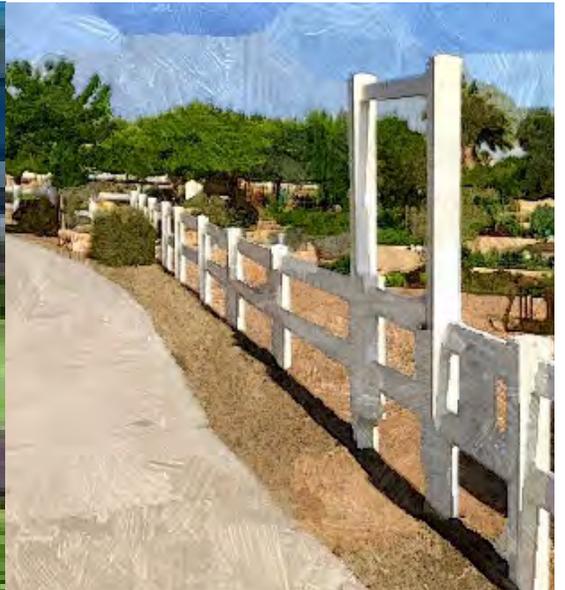
Exhibit #9 - Community Park - Conceptual Bubble Diagram Plan

Neighborhood Parks

The overall Open Space Plan includes three strategically located neighborhood parks that will range in size from approximately two to three acres. The envisioned programs for these neighborhood parks will be geared toward the community's adjacent neighborhoods and residents and will incorporate a range of uses that give each neighborhood park a unique identity. Brookfield envisions that these neighborhood parks will include significant opportunities for special resident events and programs that will be geared toward opportunities to reinforce the special nature of the community and provide cool places for neighbors to get engaged. Parking will be included along the perimeter of each park and sidewalks along the entire perimeter will allow for safe and convenient access from adjacent neighborhoods. Each park will be designed with a unique shade structure that will provide a visual icon and reference point within the context of the overall community.

The following design concepts and character imagery provide a visual reference as to the design intent and aspirations for the neighborhood parks.



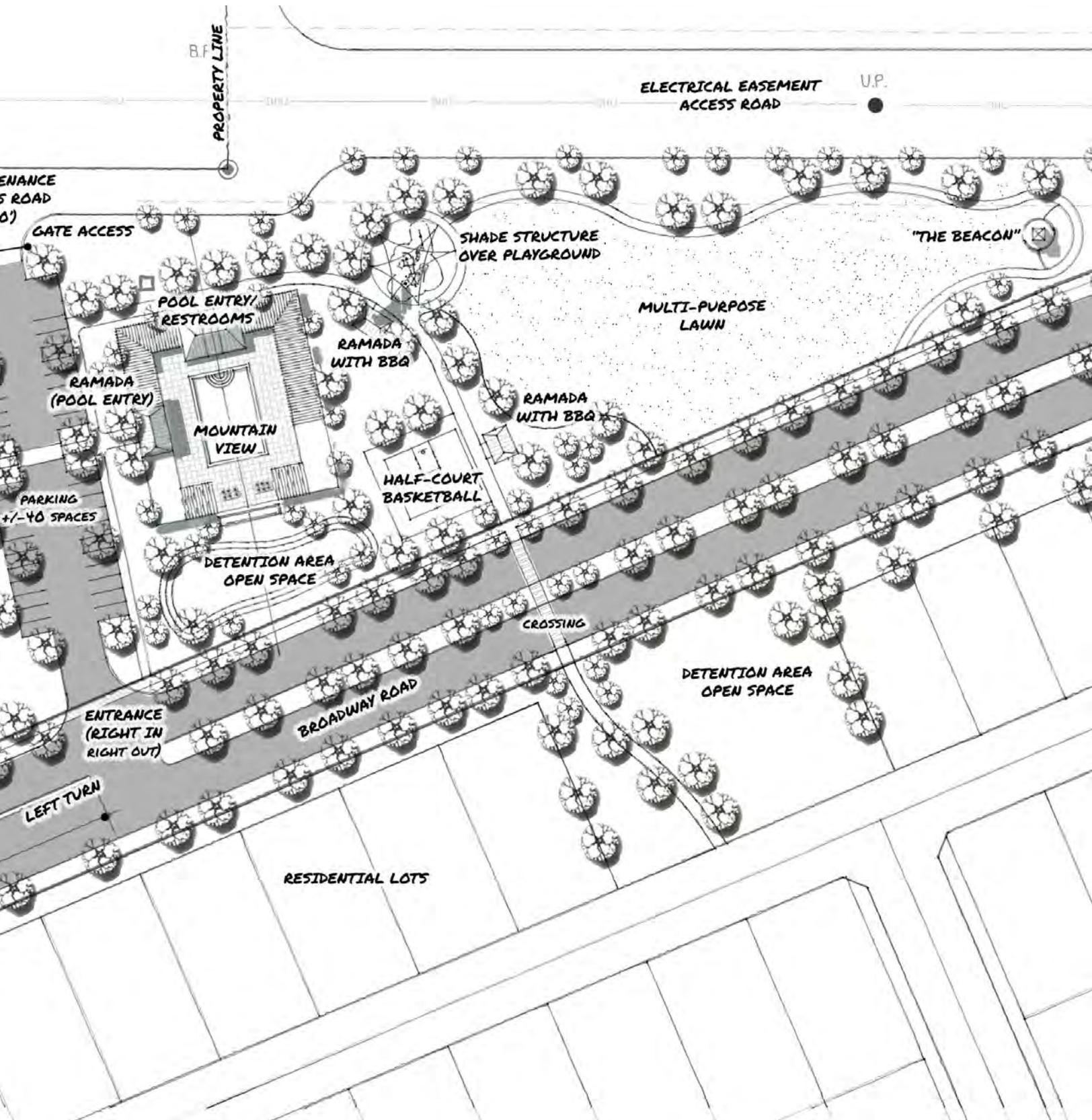


“The Beacon”

Planned as the first neighborhood park and part of phase one development, The Beacon is envisioned as a multi-use space that will be the central social hub for the initial phases of development. A multi-purpose lawn area for a broad range of activities (including informal sports games) will make up the core of the park. An iconic tower will be carefully integrated within the design of the focal shade structure near the center of the park. The tower will be a visual reference for residents and guests and act as a navigation beacon for all surrounding neighborhoods. Whether its informal lawn games, community events or taking the kids over to play in the splash pad, pool or playground- The Beacon will be a cool place to hang-out with neighbors and friends.

While conceptual in nature, the intent of the plan includes all the envisioned park components for The Beacon Park. All the neighborhood parks will include key elements such as: play equipment, open turf areas, ramadas/ shelters, picnic areas, play courts, volleyball, off-street parking, and sensitive site lighting.



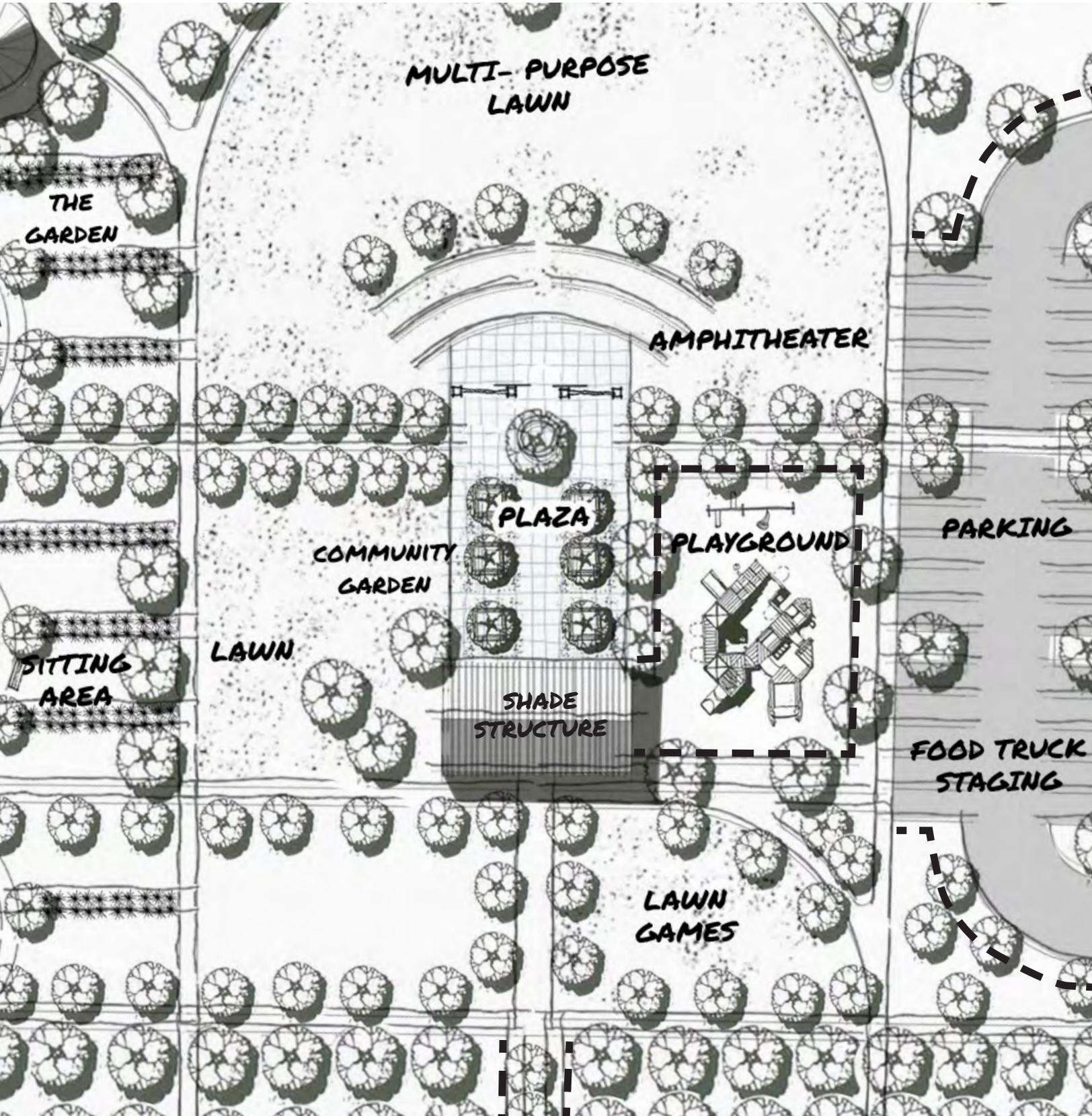


The information shown in this conceptual plan is for illustrative purposes only

“The Yard House”

This neighborhood park will be highlighted by the “Yard House” shade structure that will provide multi-use space for special events, performances and community celebrations. The Yard House is envisioned to include multiple components including; playgrounds, plaza, amphitheater, community garden, lawn areas and informal sitting areas. The design will be organized with special circulation to accommodate food trucks and vendors for neighborhood gatherings.





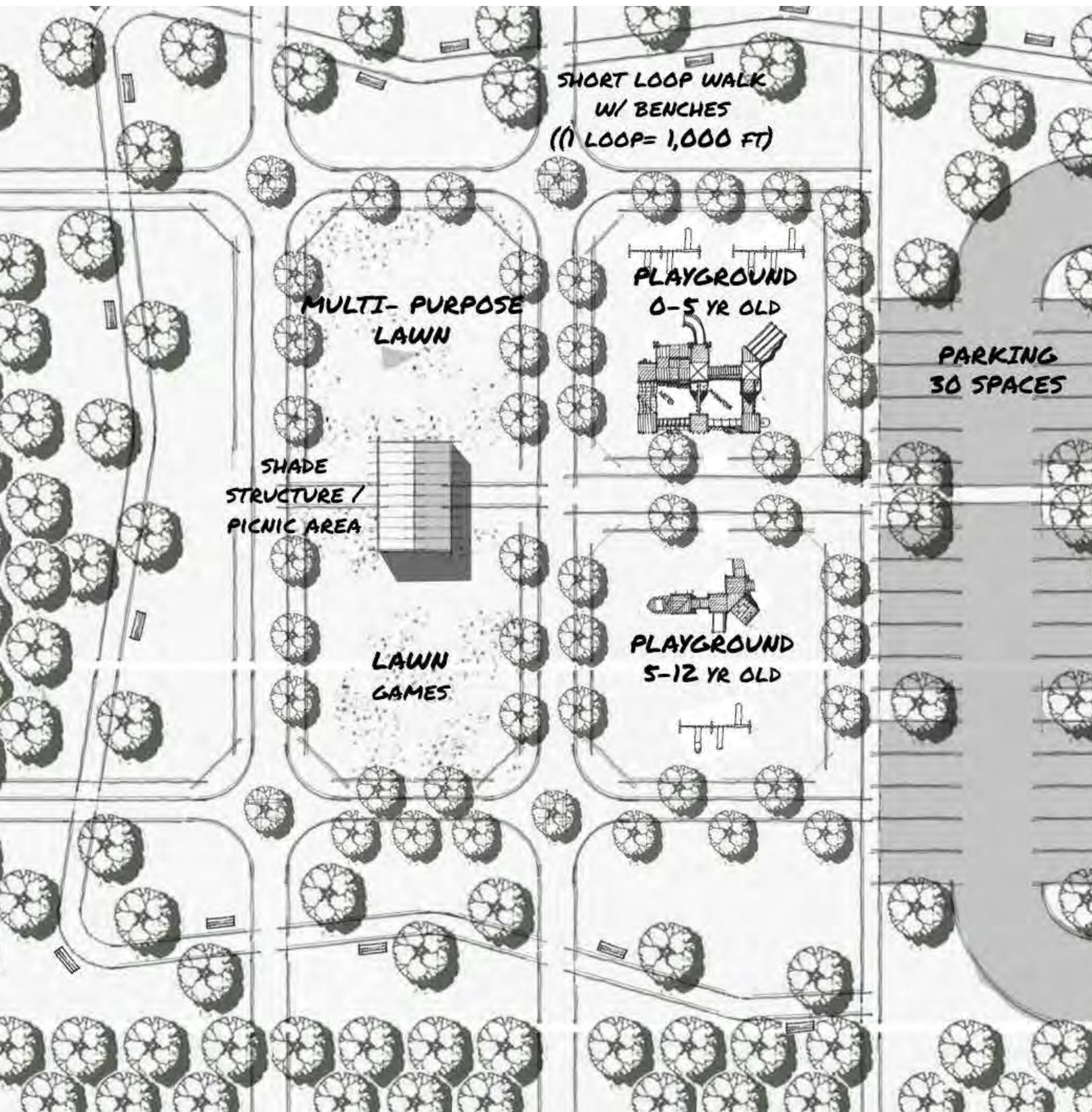
The information shown in this conceptual plan is for illustrative purposes only

Exhibit #11 - The Yard House Park conceptual design

“The Kick Stand”

Geared towards informal recreation for the young and old alike, The Kick Stand neighborhood park is organized around a series of “mini-fields” for recreation and play. Recreation is the focus of this park with extensive lawn areas separated by an elaborate series of post and rail corral fences to accommodate multiple activities at one time. From teaching toddlers soccer, to competitive game of lawn bowling, the Kick Stand will be the place to hone your athletic skills.





The information shown in this conceptual plan is for illustrative purposes only

Exhibit #12 - The Kick Stand Park conceptual design

Formative Parks

The Formative Parks will be the most important aspect of the overall park system that provides direct access to neighborhoods and residents. Envisioned to be strategically embedded in each grouping of neighborhoods, the Formative Parks will be specially designed to provide a first impression of the community themes associated with health and wellness, connection to nature and social engagement. All designed with more passive program elements in mind, the Formative Parks will be strategically organized with features associated with the buyer demographics for each neighborhood. The accompanying conceptual design plan and series of character images express the design aspirations that will focus on: convenient access, informal multi-use lawn areas, shade structures with patios and opportunities for creative play for the youngest of residents. Generous planting will be incorporated to provide shade, visual accent and buffer from the adjacent street scape. Trees and planting will be incorporated to provide shade and visual accent but will not be done in a manner that blocks views to and from the parks.



The information shown in this conceptual plan is for illustrative purposes only

CORE PROGRAM		FEATURES
INTENSITY SCALE	SHADE	<ul style="list-style-type: none"> Arbor Simple shade trellis Specimen trees
	GATHERING	<ul style="list-style-type: none"> Benches/ Seatwalls Small d.g. Patio Picket Fence BBQ Picnic table
	LANDSCAPE	<ul style="list-style-type: none"> Formal Planting Landscape accents Row planting pattern Orchard Buffer to Residential
	PLAY	<ul style="list-style-type: none"> Creative Play Small turf panel Lawn Games
	ART	<ul style="list-style-type: none"> Accent Lighting Sculpture

Formative Park Intensity Scale

The intensity scale above represents the base range of program elements to be included in the Formative Park. Depending on the adjacent home-buyer (resident) profile, each park will be designed specifically for the user in mind. The intensity scale, core program and identified features will “adjust” accordingly. Baseline demographic considerations will likely include: first time home-buyers, growing family home-buyers and empty nester home-buyers.



Exhibit 13 - Formative park conceptual design

3.4.2 Trails Network

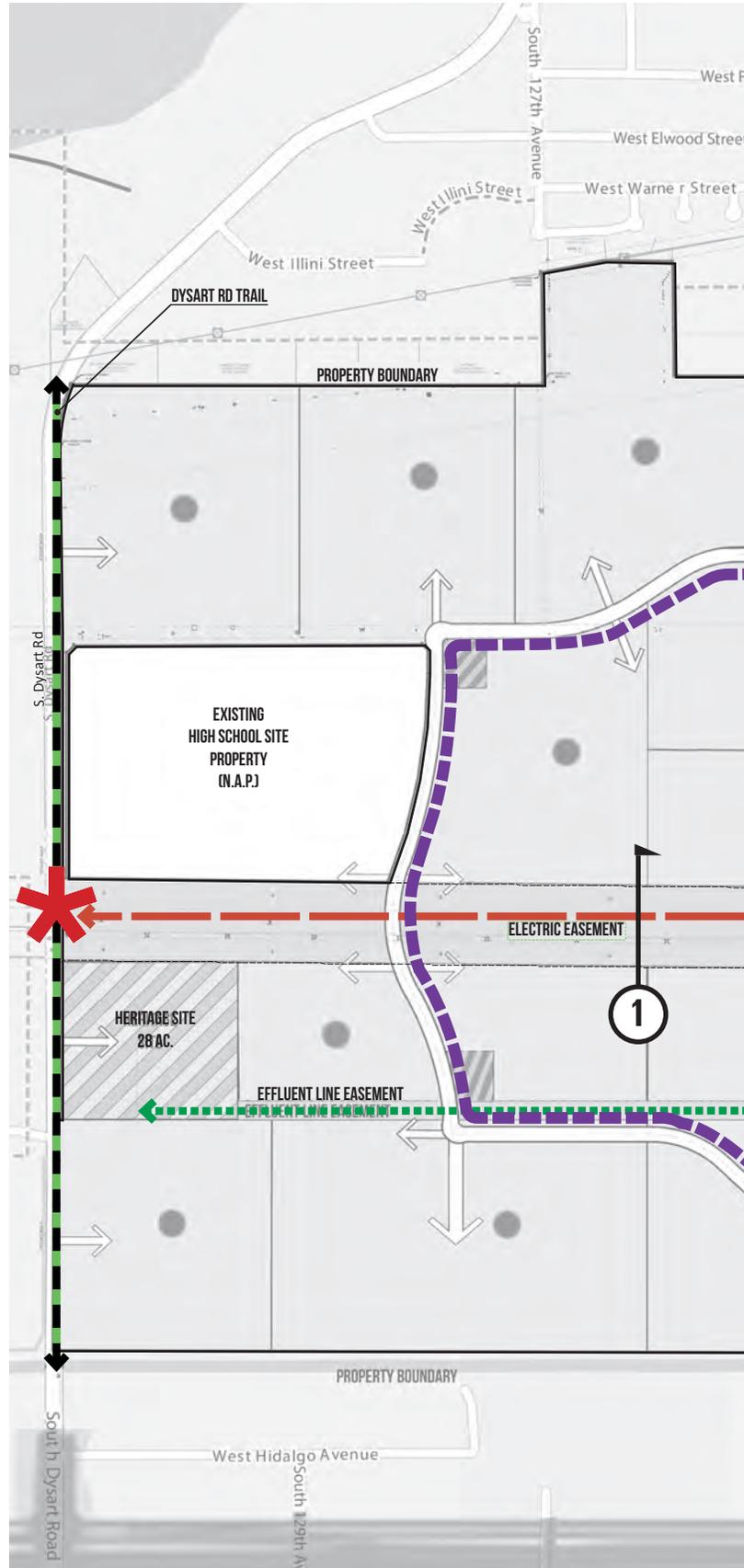
Overview

With the carefully located range of parks, from the formative parks to the focal Community Park, it is critical to provide a robust system of paths and trails that provide safe and convenient alternative access. The trails network includes over 9.5 miles of identified trails which traverse the community (not including the internal neighborhoods paths that will connect trails to the full gambit of formative parks). Each trail has been carefully considered within the context of the community, access to parks and also connection to the regional trail system and primary trail corridors along the Agua Fria and Gila Rivers beyond the property boundaries.

Trails

The accompanying exhibit illustrates the general routes for the trails that make-up the overall system of connectivity planned throughout the community. While the overall network includes over 9.5 miles of trails, the layout will allow for a series of walking and or jogging routes that will be organized in an incremental fashion that can meet the needs of each user (.5 mile/ 1.0 mile/ 2.0 mile/ etc.).

LEGEND		
	PARKWAY TRAIL LINK	1.4 MI
	GREENWAY TRAIL LINK	2.8 MI
	EAST-WEST CONNECTOR TRAIL	2.1 MI
	SOUTH END CONNECTOR TRAIL	1.8 MI
	AVONDALE BLVD TRAIL	0.5 MI
	DYSART ROAD TRAIL	1.0 MI
	TOTAL TRAIL LENGTH	9.6 MI
	REGIONAL TRAIL CONNECTION	



Sections 1 and 2 identified in the Trails Map can be seen on pages 82 and 83.

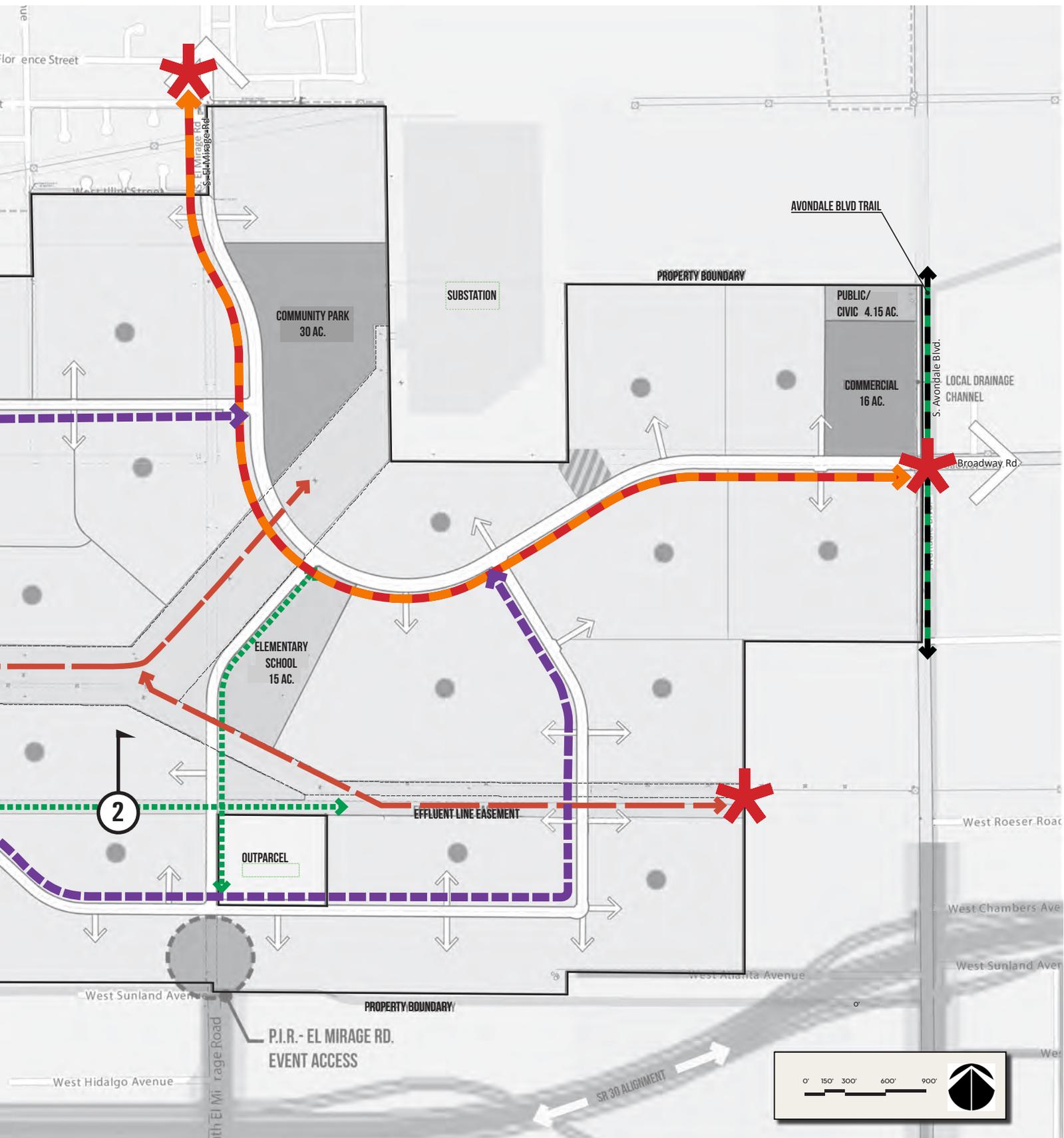


Exhibit #14 - Trails Network Map

Parkway Trail Link

The Parkway Trail will be located on the south side of the Parkway and is envisioned to have a concrete pavement surface with a 10-foot width. The meandering trail will be curb separated and designed within the context of trees, earth berms and landscaping on each side to provide a distinct character as well as visual separation from the roadway. Curb ramps will be provided at street crossings for safety and convenience. This trail will provide regional connectivity at Avondale Boulevard.

The concrete sidewalk on the north side of the Parkway will be more urban in nature with a 6-foot width and follow the horizontal alignment of the Parkway. The Parkway Trail is oriented for walking and jogging. In addition, a bike lane is provided along the interior of the ROW, so the trail is exclusively pedestrian and recreational.



Greenway Trail Link

The Greenway Trail will circle almost the entire property and provide access to and from all groupings of neighborhoods throughout. The trail will be located on the interior of the Greenway road alignment and have a similar character to the Parkway trail with a 10-foot wide meandering, curb separated sidewalk. Like the Parkway, bike lanes are provided in the adjacent roadway.



East West Connector Trail

The East West Connector Trail follows the east west alignment of the electrical line easement. Due to the expansive width of the easement, this trail will include significant meandering to allow for convenient neighborhood access on both the north and south side of the easement. In addition, this trail includes one major link to the Parkway Trail, three major links to the Greenway Trail and two major links to the South End Connector Trail. This trail is envisioned as a multi-purpose trail for walking, jogging and casual biking.

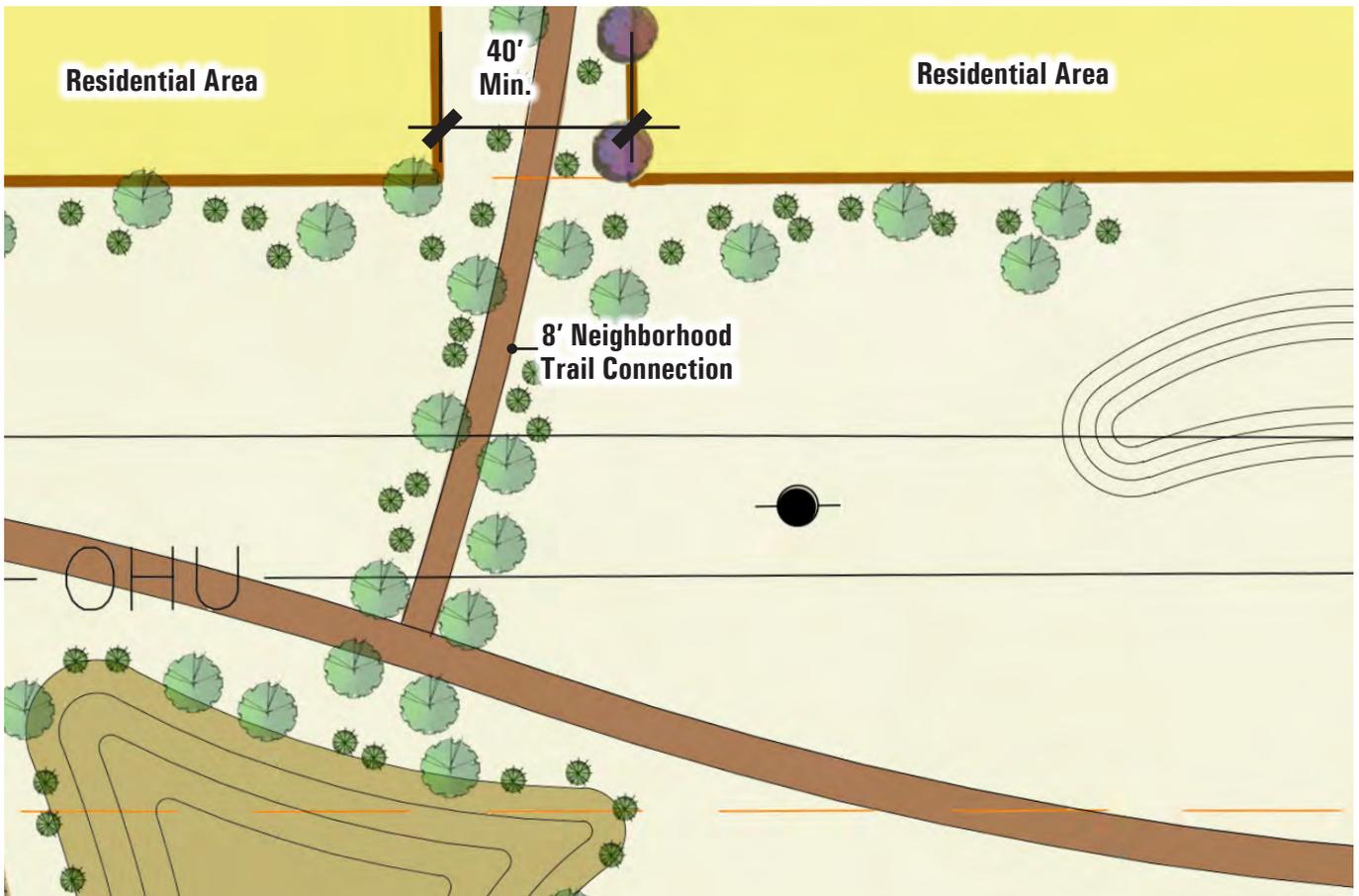
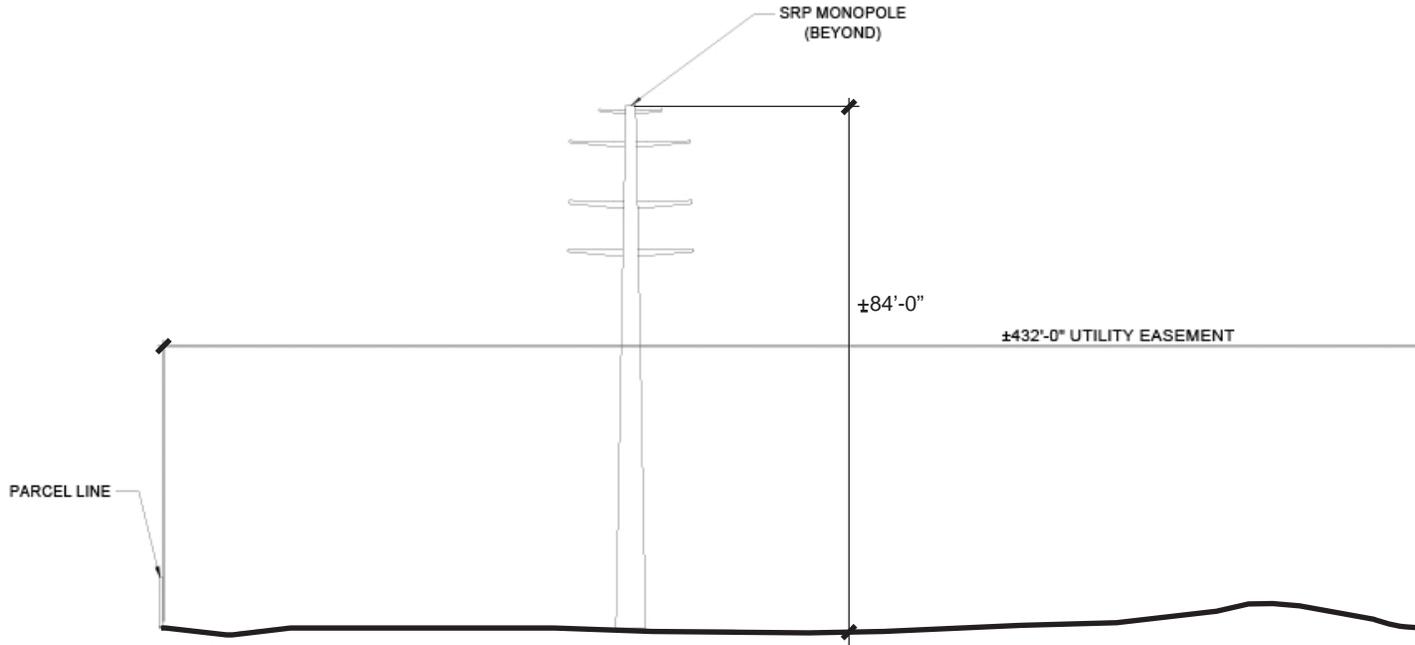
South End Connector Trail

The South End Connector trail will follow the effluent line easement near the southern border of the Property. It provides another layer of connectivity for residents and links to the Greenway Trail at three specific points. This trail will be a 6-foot wide concrete trail and the route will include specialty wayfinding signage to assist with direction and orientation. This trail will also provide connectivity to the Heritage Site as well as the regional trail system at both the east and west ends.

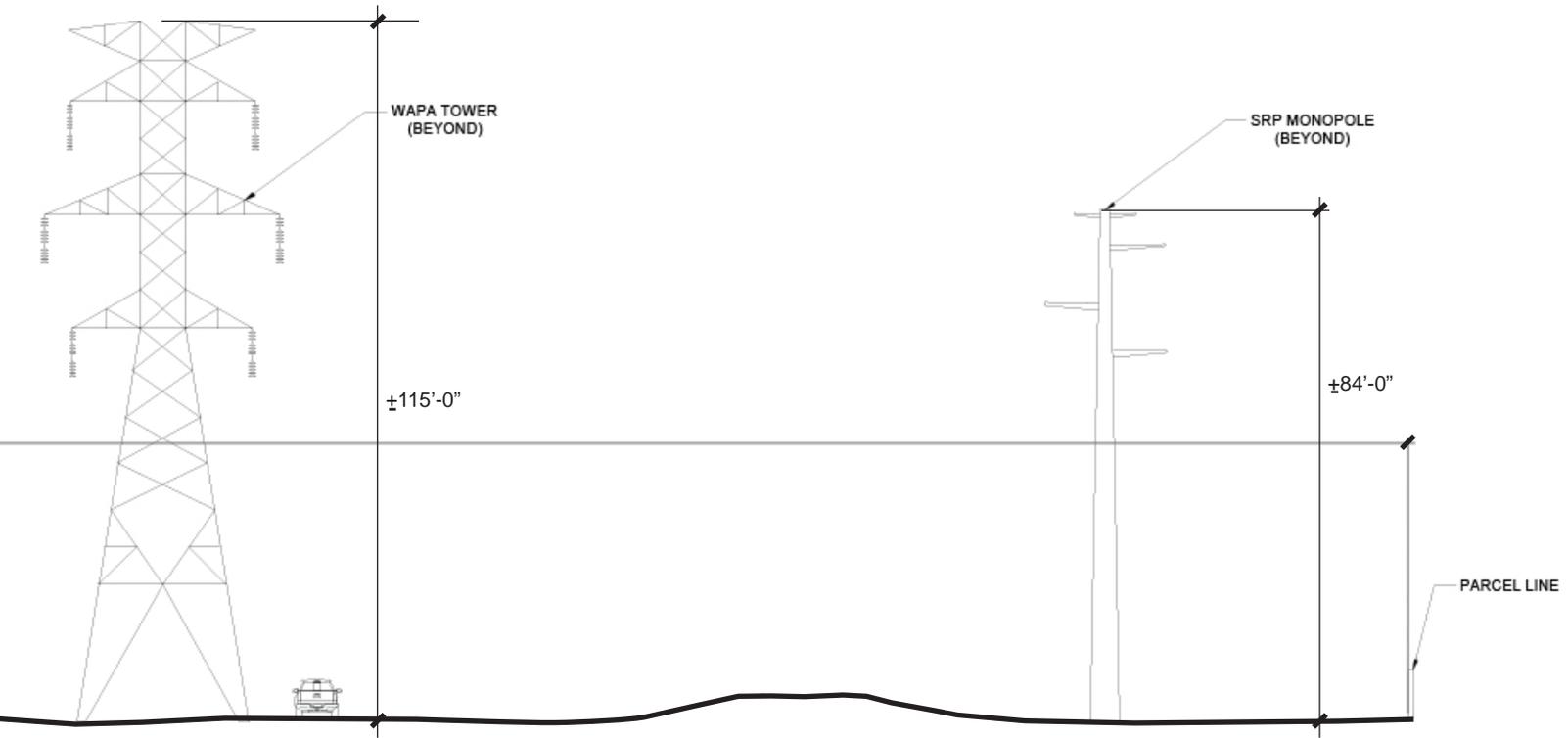


① ELECTRIC EASEMENT SECTION

East - West Connector Trail

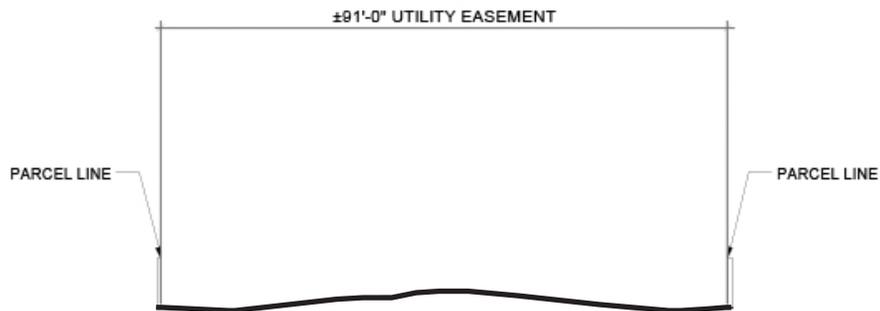


Neighborhood Connection to Community Trail



② EFFLUENT LINE EASEMENT SECTION

South End Connector Trail



3.5 Traffic and Circulation Plan

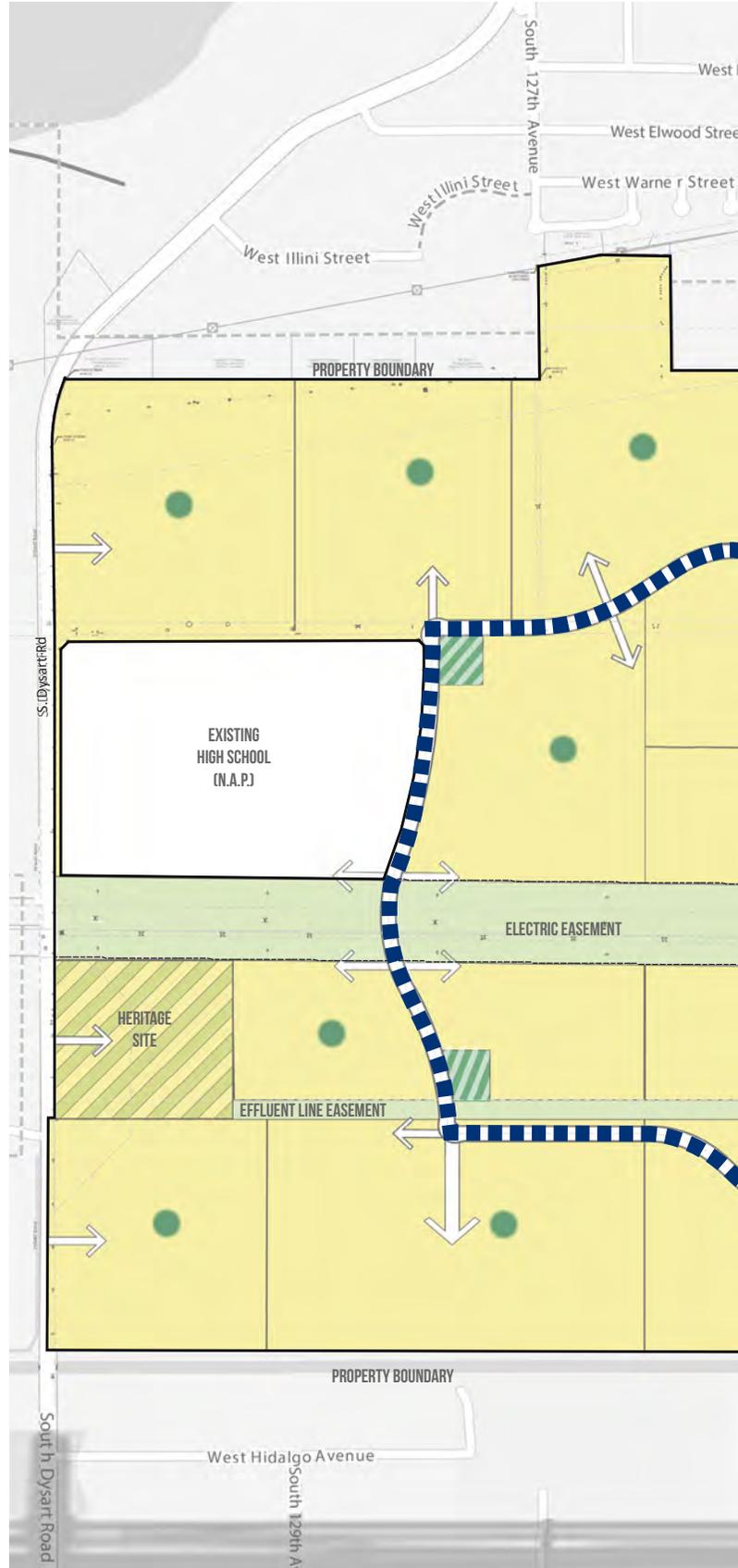
The overall circulation plan for the Property has been organized to provide safe, functional and convenient access throughout the community. All community roads are planned to be part of the City’s public rights-of-ways. The Parkway (major collector road) alignment provides the connection between the Broadway Road alignment and El Mirage Road. This proposed alignment provides the major circulation through the northeast portion of the Property. The Greenway (minor collector) loop provides the additional access throughout the remainder of the community. The new El Mirage alignment along the southern half of the Property is also identified as a minor collector road as it provides connectivity to the south of the Property. A managed access on South El Mirage Road will be provided to support P.I.R. event traffic.

The transition from the Greenway to neighborhood (local) streets will be carefully organized to manage traffic volumes in the most appropriate manner. Roundabouts and other traffic calming devices will be explored and considered within the context of detailed engineering plans at the time of preliminary platting. If the existing Tolleson Union High School District owned property is developed as a high school, then there will be a minor collector road provided to Dysart Road. Otherwise, local road access will be incorporated per the Development Plan.

LEGEND

 MAJOR COLLECTOR ROAD (100' ROW)

 MINOR COLLECTOR ROAD (80' ROW)



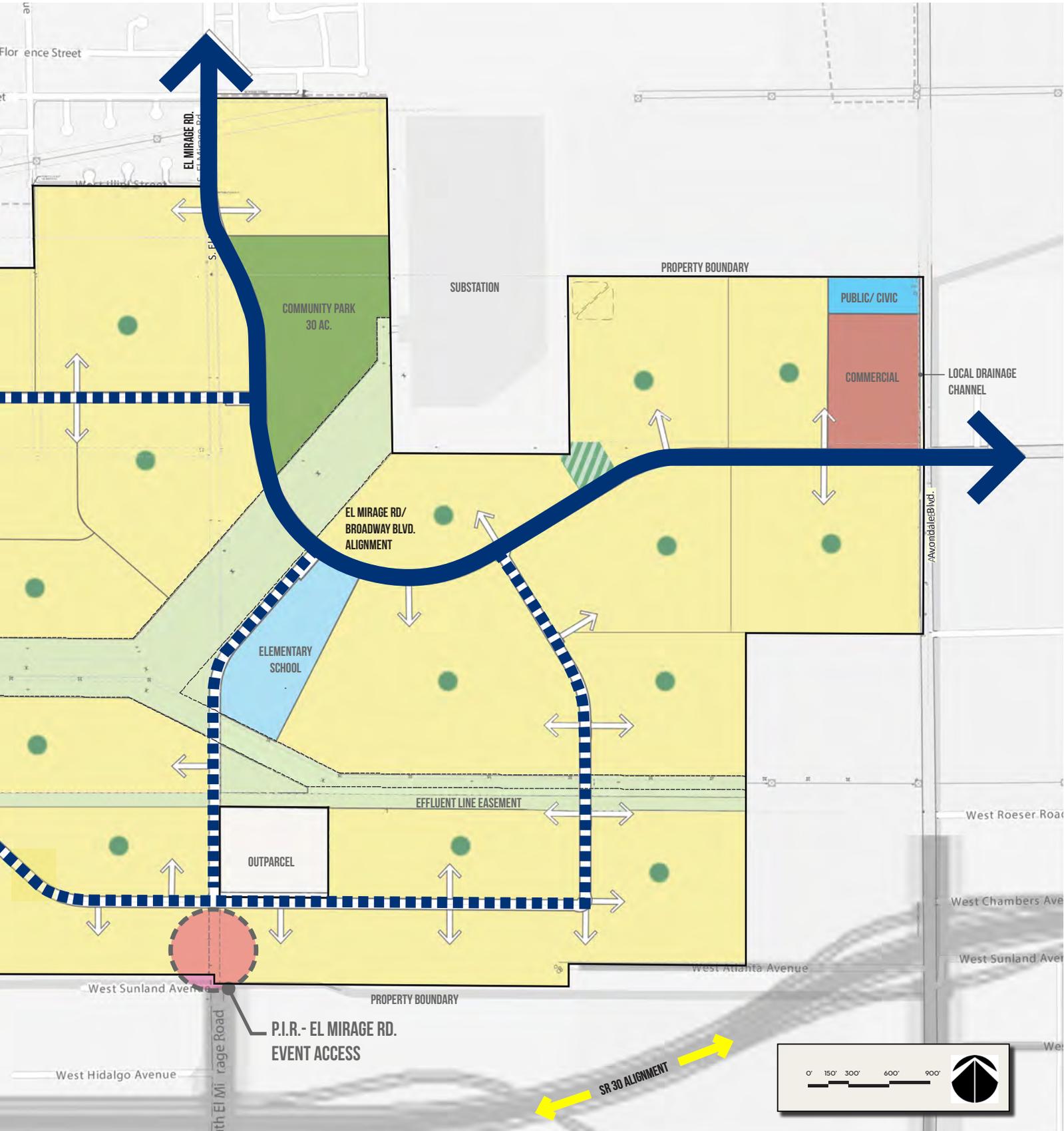
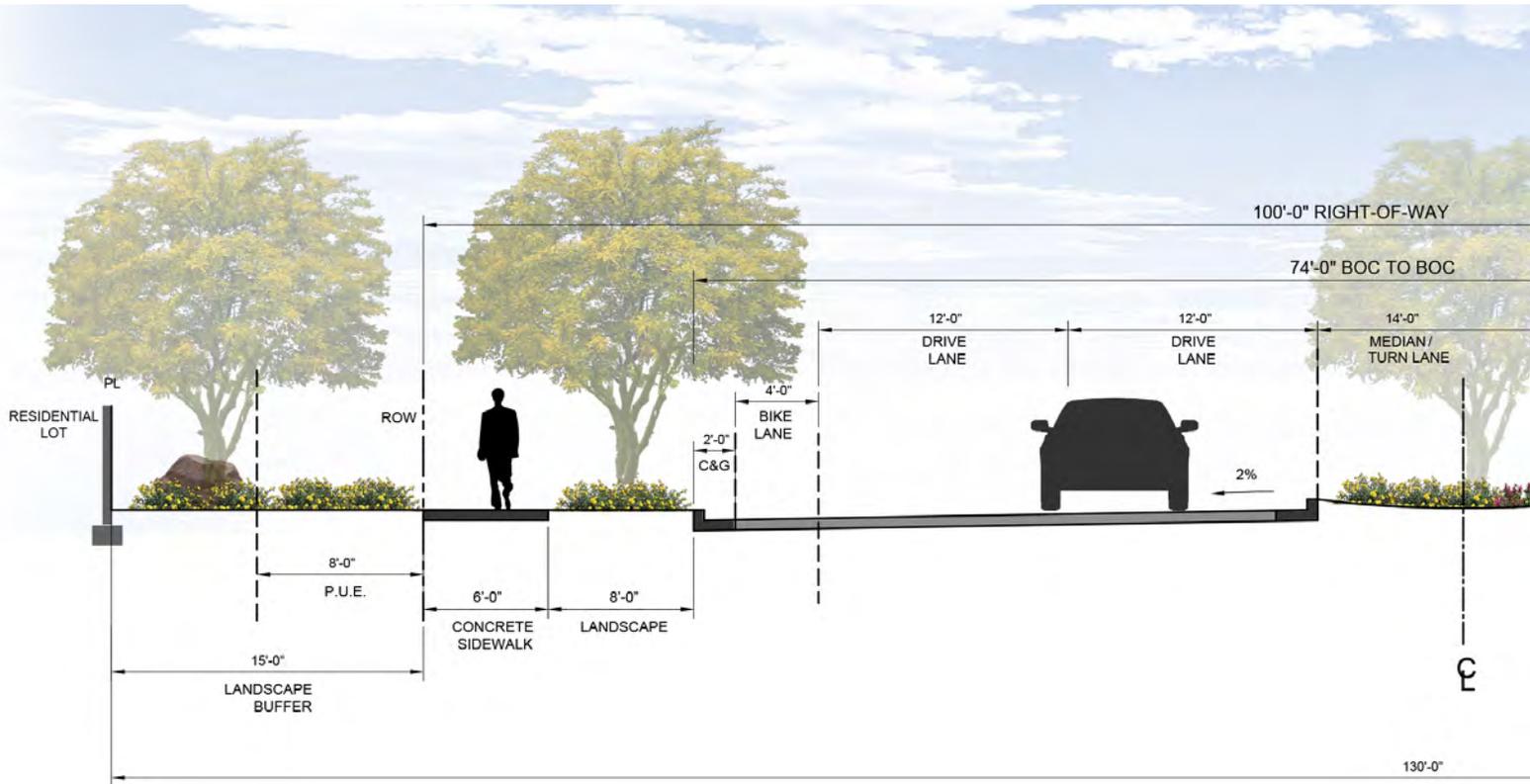


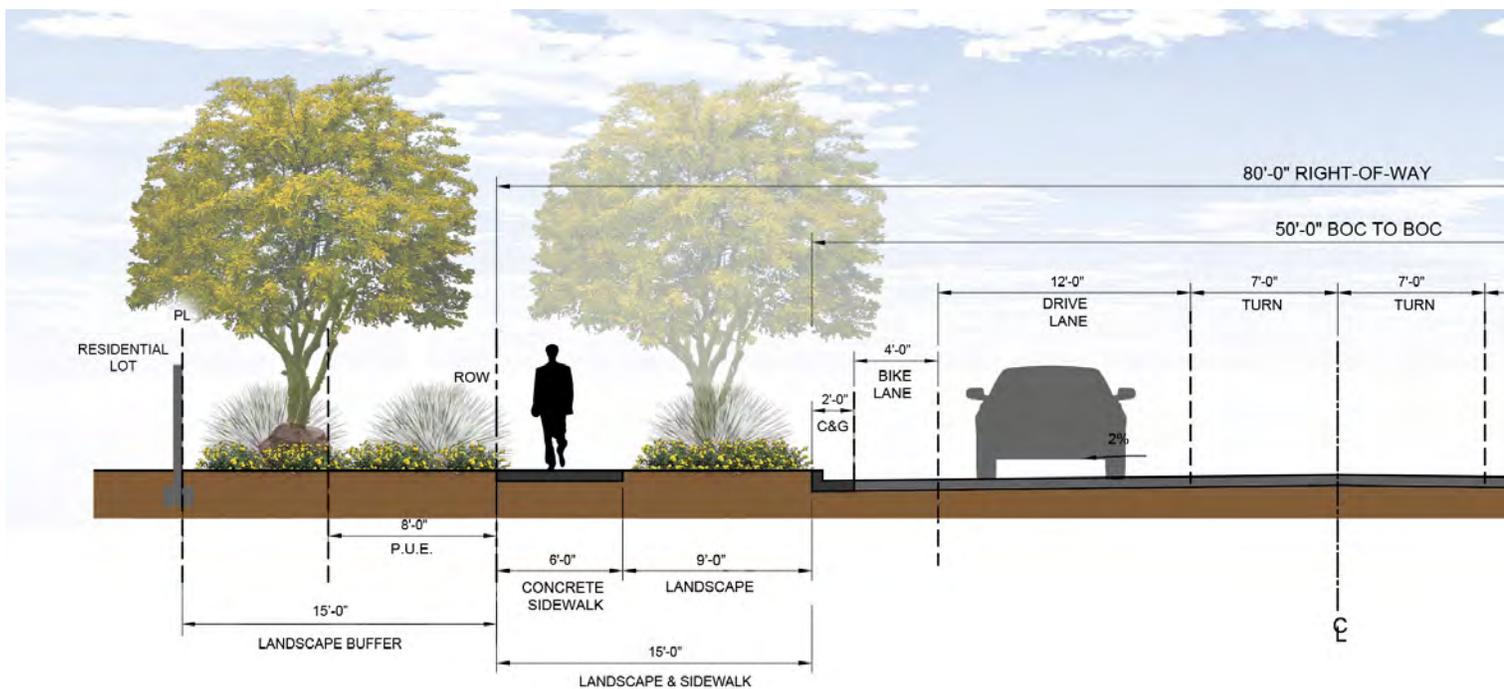
Exhibit #15 - Circulation Plan

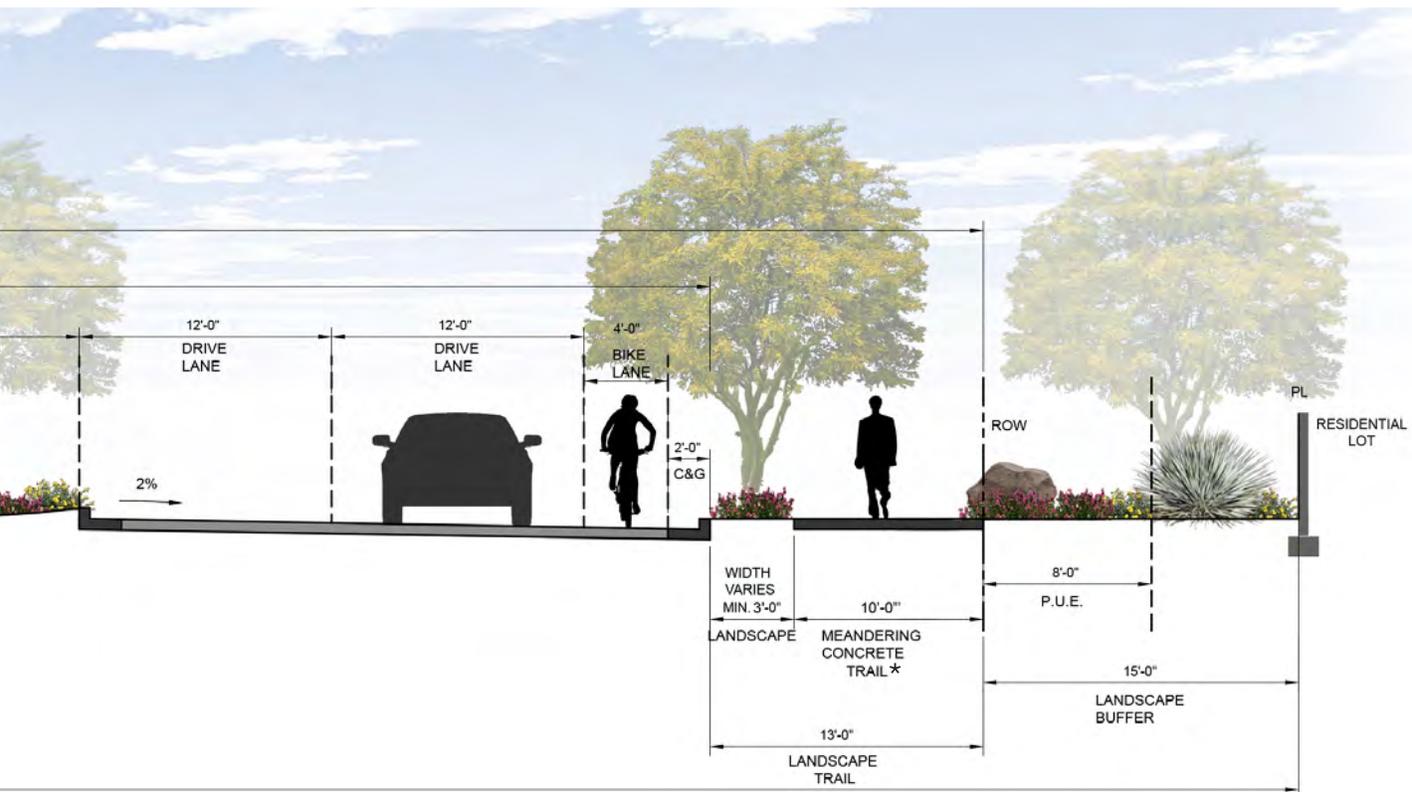
3.5.1 Street sections

The Parkway/ Major Collector (El Mirage and Broadway - 100-foot Right-of-Way)

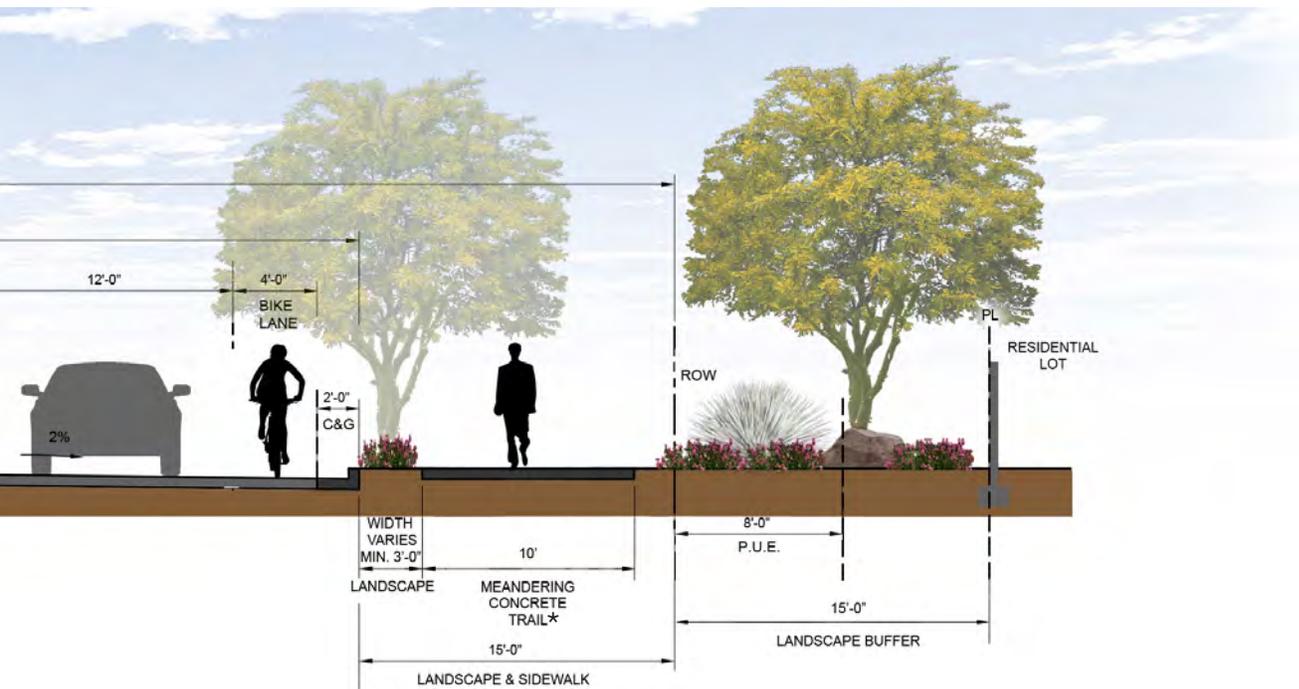


The Greenway/ Minor Collector - 80-foot Right-of-Way





* 10-foot wide trail will meander within P.U.E. and R.O.W



* 10-foot wide trail will meander within P.U.E. and R.O.W

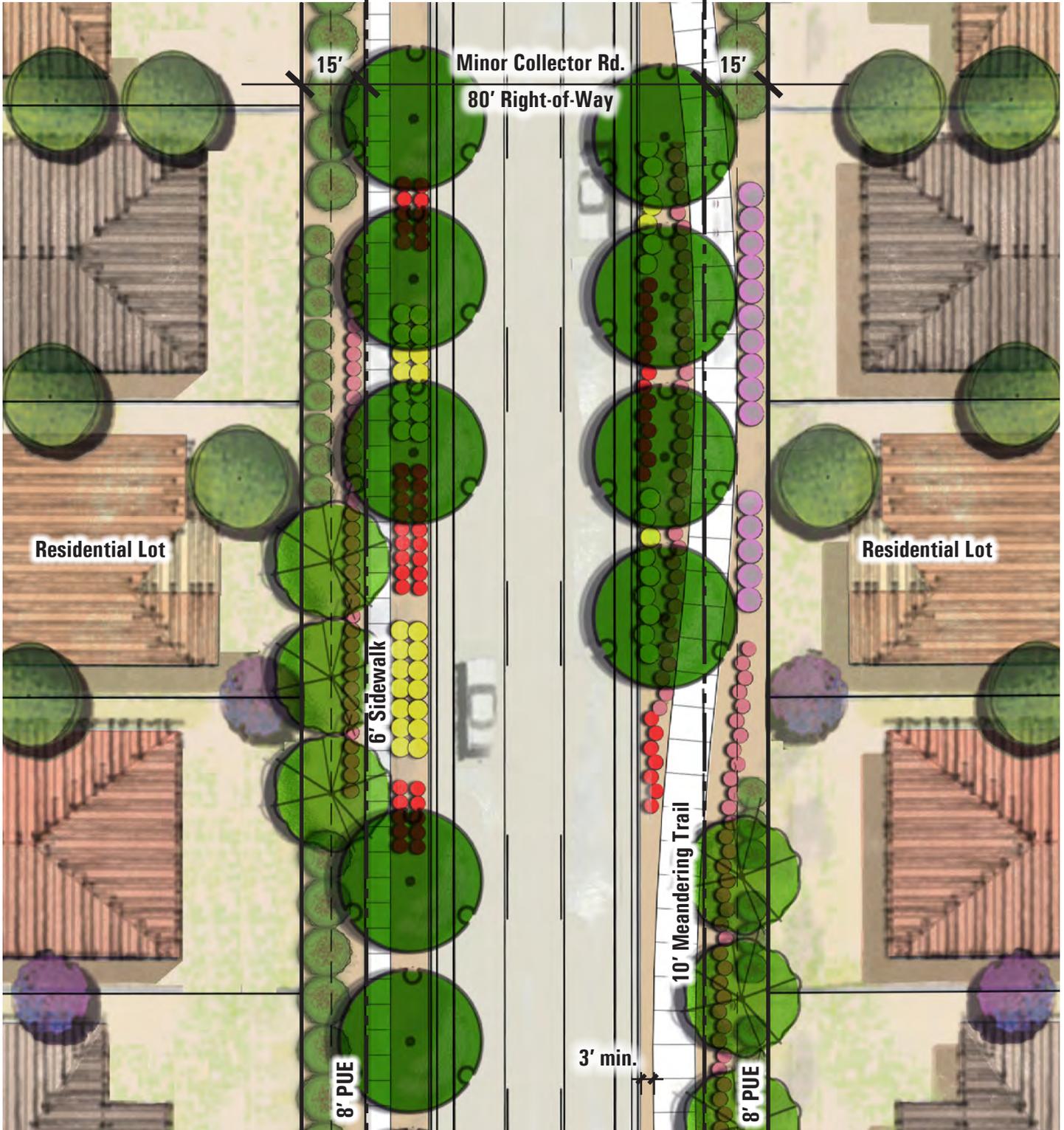
The Parkway/ Major Collector (El Mirage and Broadway - 100-foot Right-of-Way)



 PLAN VIEW

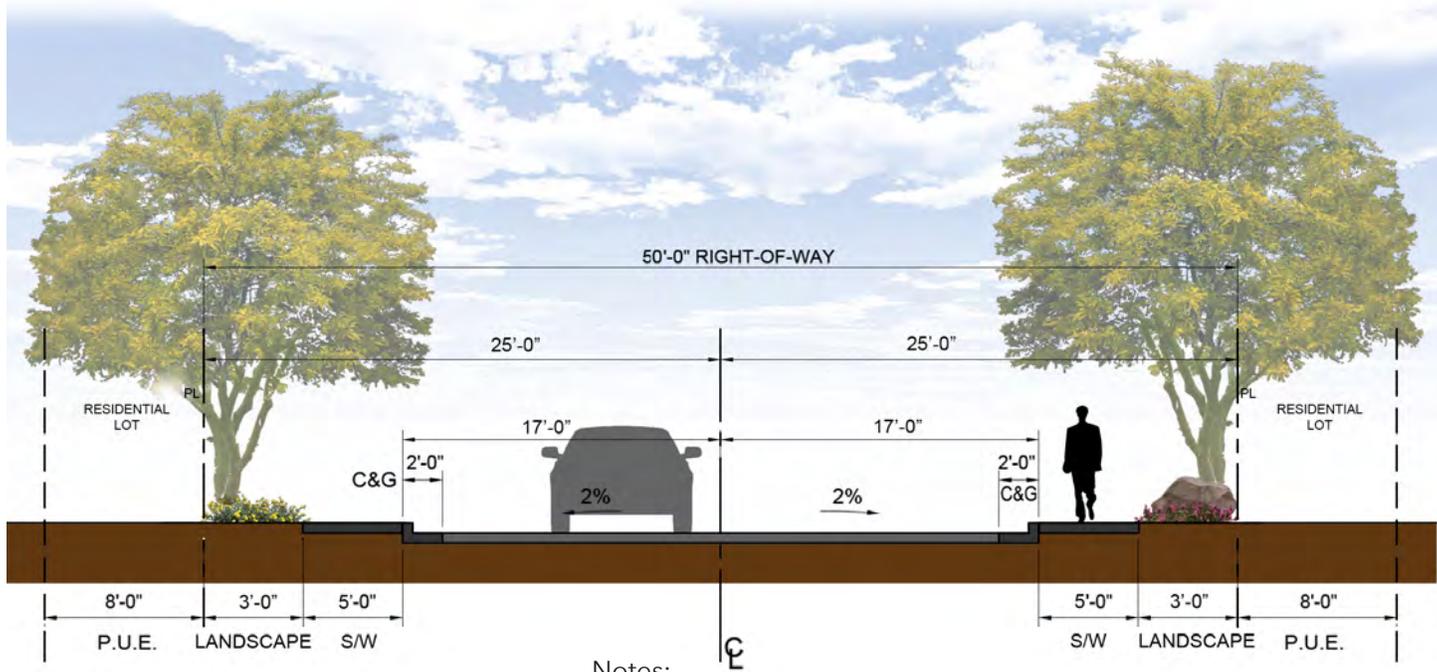
Note: Meandering Trail will allow for expanded tree planting on both sides of sidewalk. Minimum width for tree planting is 5-feet.

The Greenway/ Minor Collector - 80-foot Right-of-Way



PLAN VIEW

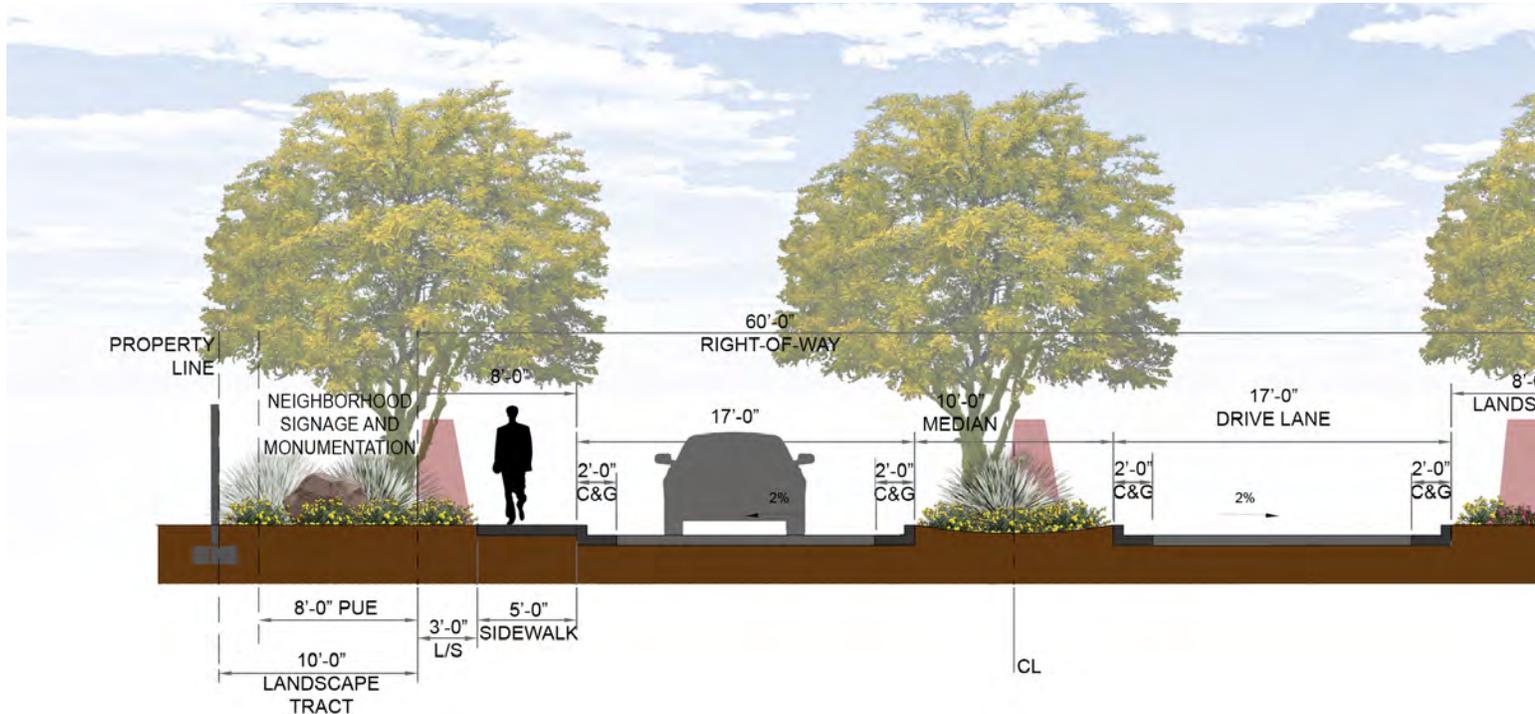
Neighborhood Street/ Modified Public Local street - 50-foot Right-of-Way



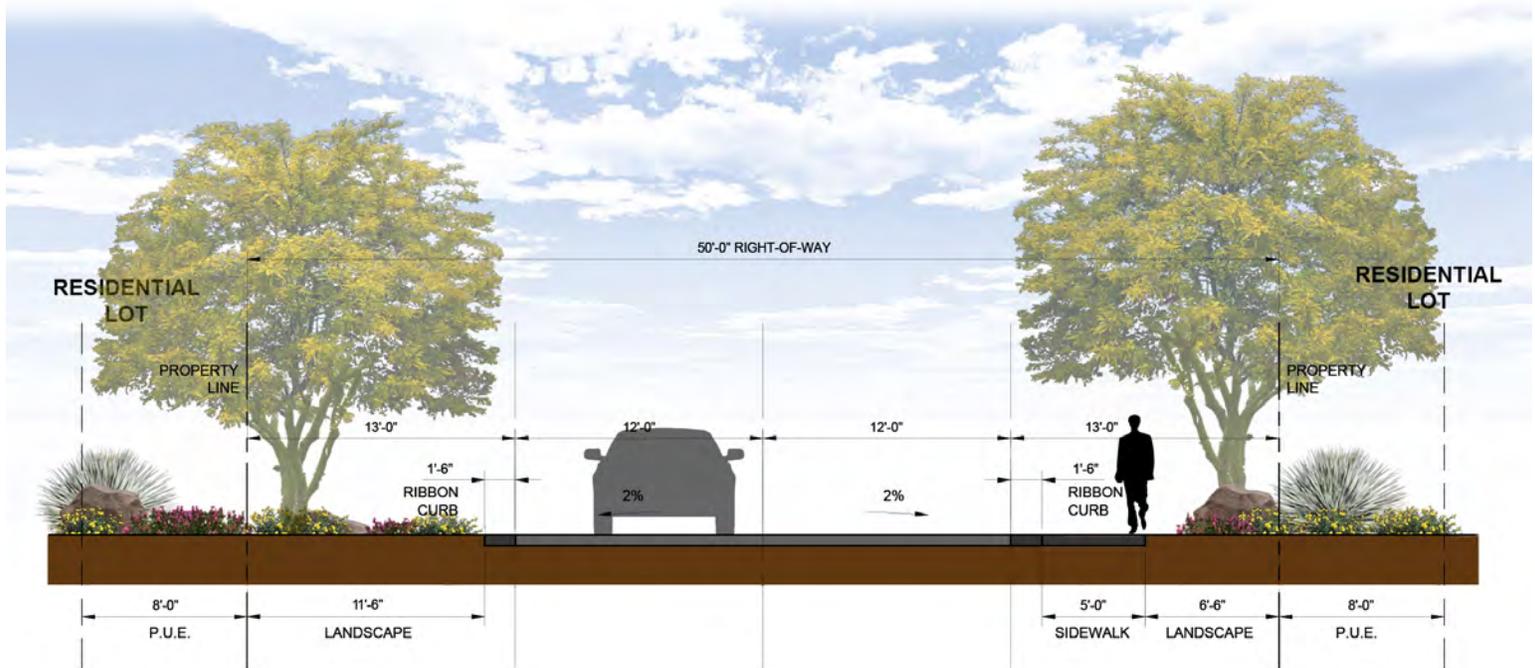
Notes:

1. Local Road Pavement Sections to be determined by a Structural Engineering report by qualified Professional.
2. Curb and gutter can be 4-inch roll, 6-inch roll or 6-inch vertical curb and gutter.
3. Local and Private streets within the LDR Category will only have sidewalk on one side of the street.
4. Trees may be located within 2 feet of either edge of the P.U.E.

Neighborhood Entry Street - 60-foot Right-of-Way



Private Street - 50-foot Right-of-Way



Notes:

1. Local Road Pavement Sections to be determined by a Structural Engineering report by qualified Professional.
2. Curb and gutter can be 4-inch roll, 6-inch roll or 6-inch vertical curb and gutter.
3. Local and Private streets within the LDR Category will only have sidewalk on one side of the street.
4. Trees may be located within 2 feet of either edge of the P.U.E.

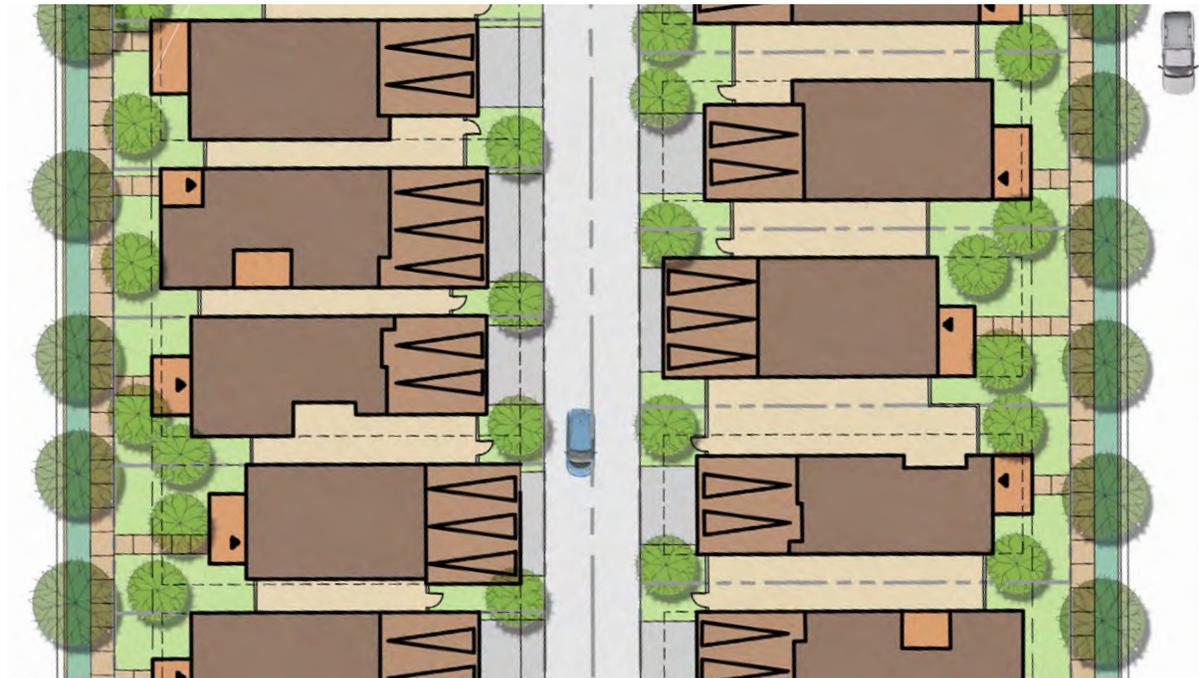
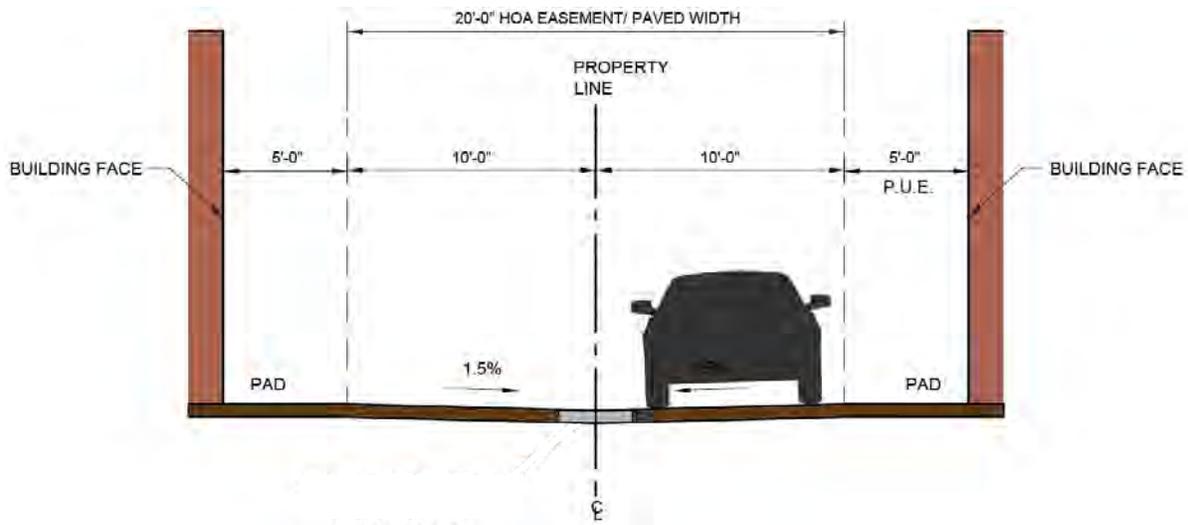


Notes:

1. Local Road Pavement Sections to be determined by a Structural Engineering report by qualified Professional.
2. Curb and gutter can be 4-inch roll, 6-inch roll or 6-inch vertical curb and gutter.
3. Local and Private streets within the LDR Category will only have sidewalk on one side of the street.
4. Trees may be located within 2 feet of either edge of the P.U.E.
5. Sidewalk to be on the formative park side.

Alleys

Some residential neighborhoods in the MDR and MHDR zone may have alley access to enhance the front street elevation. The alley design consists of a 20-foot pavement for two-travel lanes. Parking in the alley will be prohibited and enforced by the H.O.A. A five foot min. P.U.E. and building setback will be located on each side of the alley.



3.6 Utilities

3.6.1 Sewer

The Master Waste Water report (under a separate cover as part of the PAD Appendix), has been prepared to meet City of Avondale's standards and requirements, and shall serve as a guide for all development associated with the planned waste water system. There is no off-site infrastructure improvements necessary to serve the proposed development. Planned on-site infrastructure includes gravity sewer lines and at least one sewer lift station.

3.6.2 Water

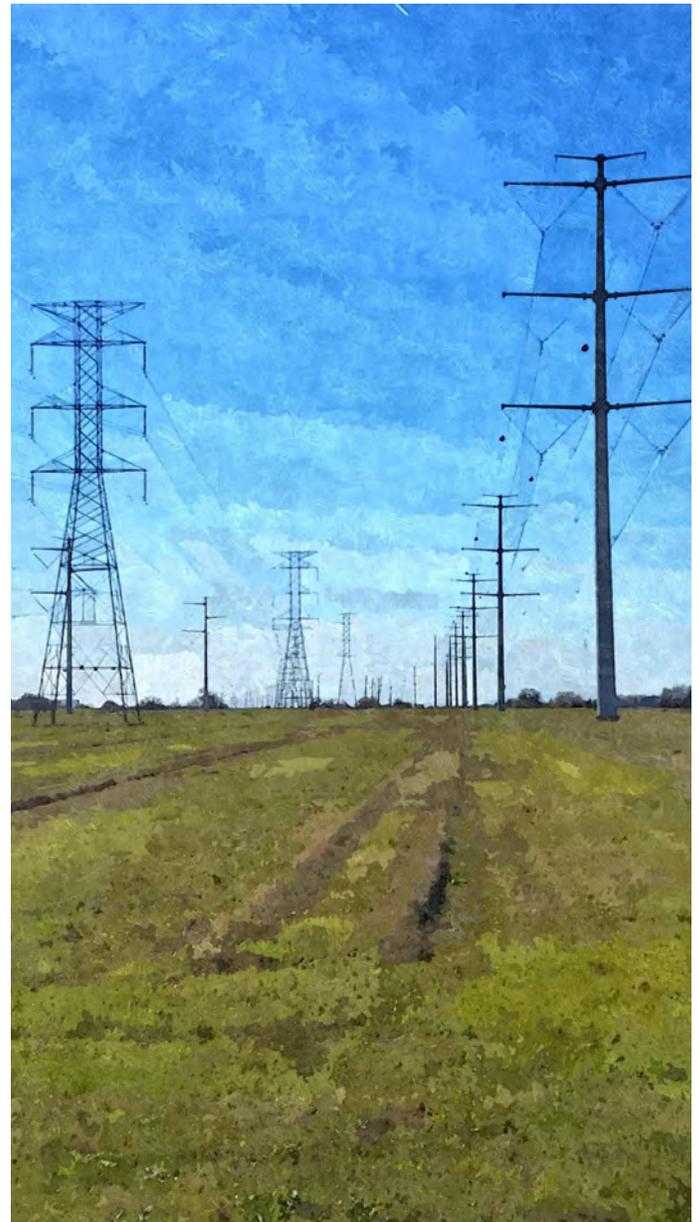
The Master Water Report (under a separate cover as part of the PAD Appendix), has been prepared in accordance with the City of Avondale's technical requirements for water distribution systems as applicable for the Lakin Property project. The Report presents water design demands to meet the proposed PAD at full build-out as well as each anticipated development phase.

Existing water transmission lines adjacent to the property boundaries at Avondale Boulevard, El Mirage Road and Dysart Road will be utilized for the project. All water needs will be serviced by the City's existing facilities based on existing capacity.

3.6.3 Grading and Drainage

The Master Drainage Report (under a separate cover as part of the PAD Appendix), is in accordance with the City of Avondale requirements. The Report addresses all drainage studies and reports that affect the site. It also includes hydrological analysis based on using the post-development for the proposed Land Use Development Plan. The Master Drainage Plan mitigates, intercepts and conveys off-site flows safely through the site to downstream historical outfall locations.

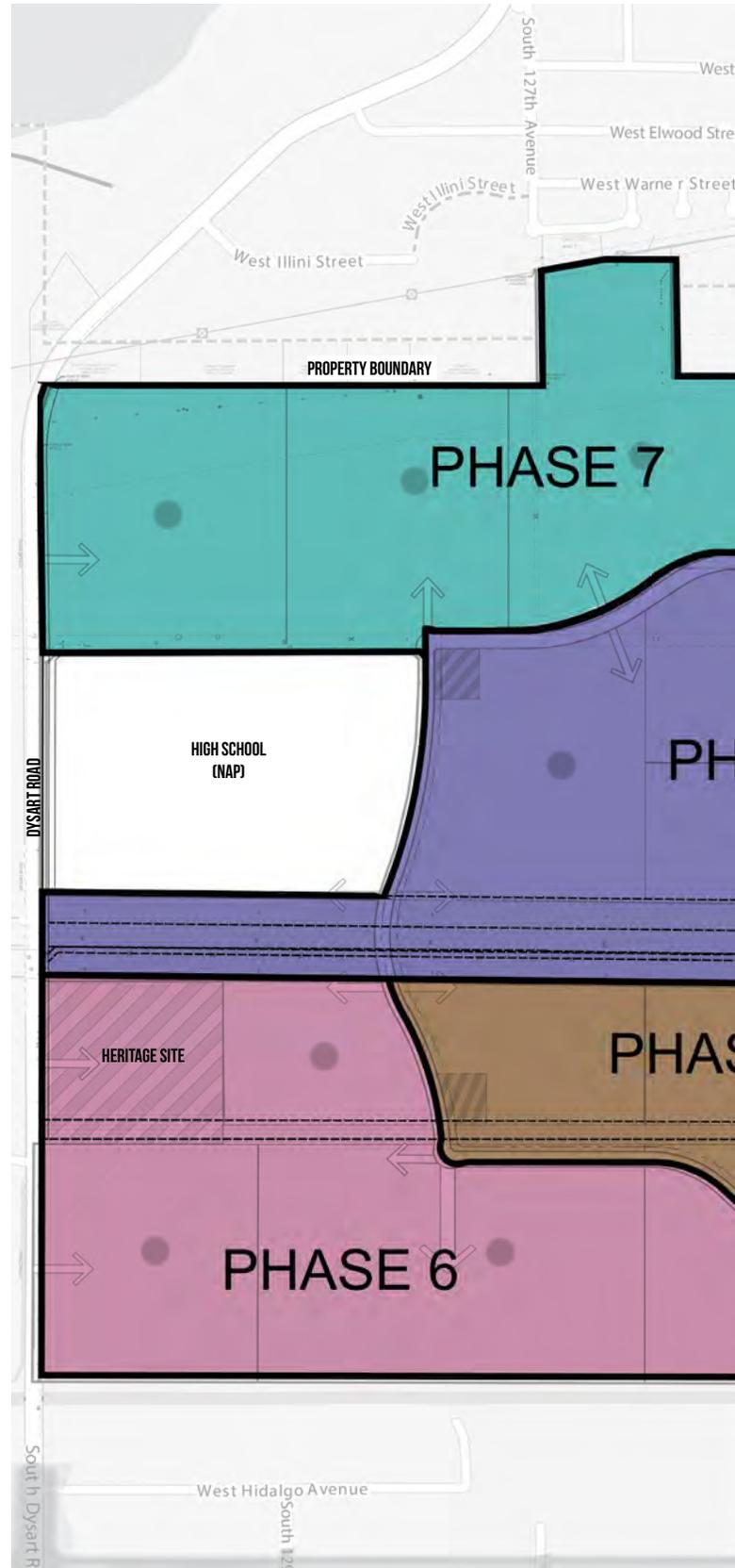
There will be a corridor set aside for the future potential Durango Regional Drainage Channel along the southern boundary of the Property. The interim condition will set aside the land area in its current state. If the Durango Regional Drainage Channel does not come to fruition, the Developer may include that land area as part of Residential land sales.



3.7 Phasing Plan

The Phasing Plan provides a conceptual “snapshot” of how the parcels are anticipated to be developed based on assumptions to date. The phasing plan and development of the Property is governed by many factors including grading and drainage considerations and existing infrastructure, access and transportation. The overall development sequencing will occur from east to west, starting along Avondale Boulevard. The initial phase of development will most likely occur in the southeast portion of the Property.

The provided plan is intended for reference only and may change and evolve over time based on economic factors.



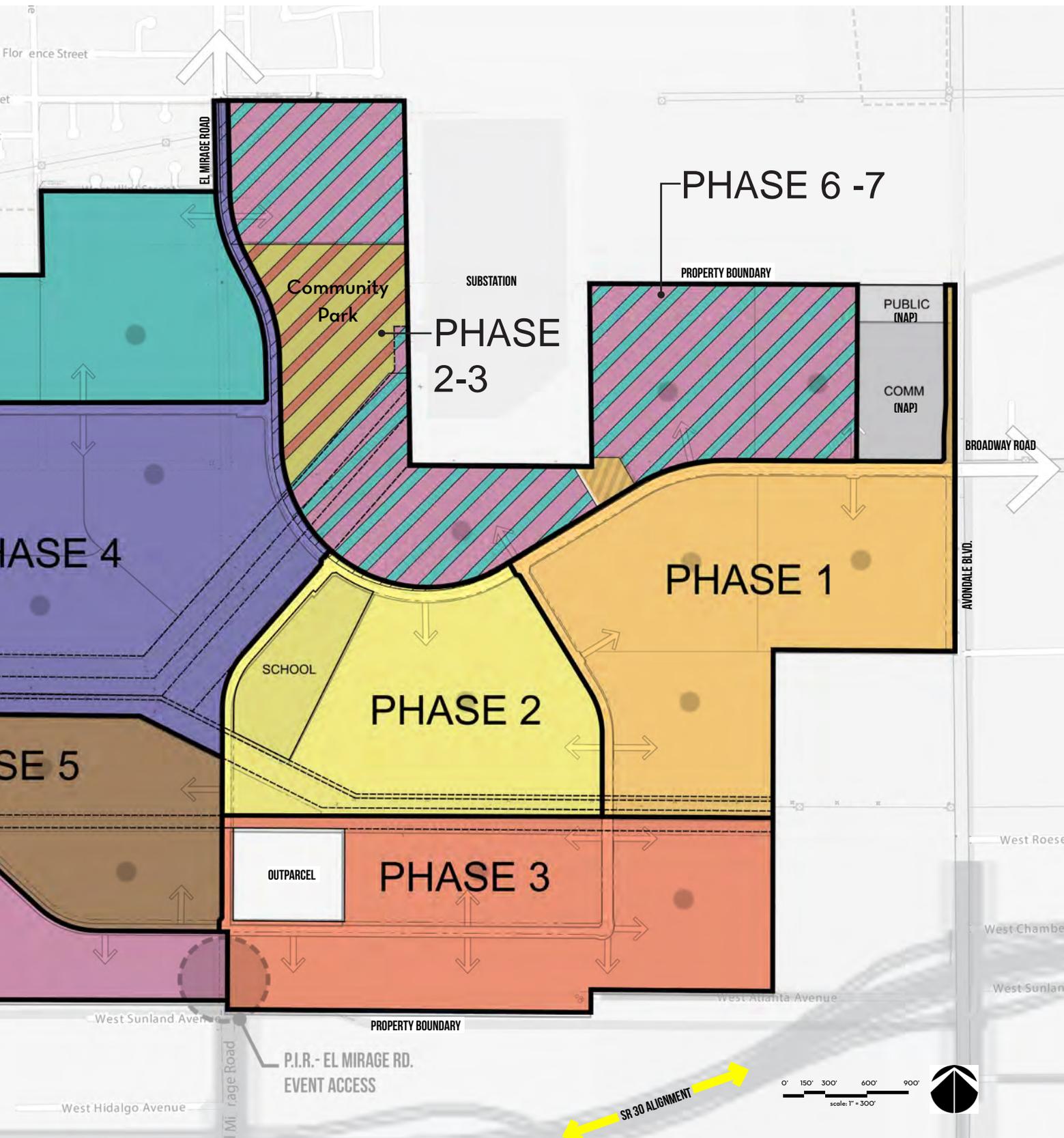


Exhibit #16 - Phasing Plan

4. PROPOSED DEVELOPMENT STANDARDS

4.1 Residential

The PAD allows a variety of lifestyle residential products including a mix of single family and higher density single family residences conducive to creating community and neighborhood character. The following table shows the development standards for all Residential zones.

ZONE	LOW DENSITY RESIDENTIAL (LDR)	MEDIUM LOW DENSITY RESIDENTIAL (MLDR)	MEDIUM DENSITY RESIDENTIAL (MDR)	MEDIUM HIGH DENSITY RESIDENTIAL (MHDR)		HIGH DENSITY RESIDENTIAL (HDR)
Unit Type	Single Family Detached	Single Family Detached	Single Family Detached	Single Family Detached	Single Family Attached Townhome Alley loaded Zero Lot Drive Court Green Court	SF Attached (11) Multi-family (10)
Lot Size Sq. Ft (Min to Max.)	9,000 - 43,560	7,200 - 9000	6,000 - 7,500	2,500 - 6,000	2,500	1,000
Minimum Lot width	70 feet	60 feet	50 feet	45 feet	28 feet	28 feet
Density	1 - 2.5 du/ac	2 - 3.5 du/ac	3 - 5 du/ac	4 - 8 du/ac	4 - 8 du/ac	8 - 12 du/ac
Max. Lot Coverage	45%	50%	55%	60%	80%	45%
Min. Front Yard Setback	20 feet (1)	20 feet (1)	20 feet (1)	20 feet	0 feet	25 feet
Min. Side Yard Setback	10 feet (2) (7)	5 feet (2) (7) (5)	5 feet (7) (5)	5 feet	0 feet (3)	15 feet
Min. Total both side yards	20 feet (8)	15 feet	13 feet (12)	10 feet	0 feet	0 feet
Min. Rear Yard Setback	20 feet (4) (9)	20 feet (4) (9)	15 feet (4)	10 feet	5 feet (6)	15 feet
Max. Building Height	30 feet (2 stories)	30 feet (2 stories)	30 feet (2 stories)	30 feet (2 stories)	30 feet (2 stories)	30 feet (2 stories)
Parking	2 off street	2 off street	2 off street	2 off street	0.5 per unit	1 per unit

- (1) Minimum front setback to a garage door facing a public street is 20 feet. Minimum setback to a front porch is 8 feet. Minimum setback to side entry garage and living space is 10 feet.
- (2) Fireplace, bay windows and media pop-outs may encroach 2 feet into side setback. Minimum street side setback to a porch on a corner lot is 8 feet.
- (3) Product configurations with side yard use and benefit easements are allowed
- (4) Minimum setback to rear patio cover is 10 feet. Minimum setback to an alley loaded garage, or a cluster product building is 5 feet.
- (5) Street side setback shall be the larger sideyard setback dimension.
- (6) Rear lot lines extend to the center of the alley for rear-loaded lots with garage access of a rear alley. A 5-foot rear setback is then measured from back of alley curb.
- (7) When a landscape tract with a minimum width of 10 feet is incorporated between the side of a lot and adjacent street right-of-way, the minimum side yard setback can be used between the home and side yard property line.
- (8) 15-foot total side yard setback (5-foot min.) allowed for 70-foot wide lots
- (9) Detached Accessory Buildings shall conform with City of Avondale Zoning Code
- (10) Multi-family development standards in HDR category per City's Multi-family Design Manual and Zoning Ordinance
- (11) SF Attached within the HDR Zone shall comply with the development standards in the SF Attached - MHDR Zone
- (12) 10-foot total side yard setbacks (5-foot minimum) will be allowed for 50 foot wide lots. Typical lot widths greater than 50 feet (i.e. 51 feet and greater) will revert to the standard requirements of a 13 foot total side yard setback.

4.2 Commercial Development Standards

Development standards for the Community Commercial zone (C-1) are provided in Table 4.

TABLE 4 C1- Neighborhood Commercial Development Standards	
ZONE	Commercial (C-1)
Minimum Lot Width	None
Minimum Site Depth	None
Lot Coverage	None
Max. Building Height	30 feet (3)
Front Yard Setback	20 feet
Side Yard Setback	15 feet (1)
Rear Yard Setback	20 feet (1)
Parking	Per Zoning Ordinance (2)

(1) Setback from residential use or district: 50 feet

(2) Commercial parking requirements per Zoning Ordinance. Parking setback from residential use or district: 25 feet

(3) Special Architectural features including towers, cupolas, spires, clerestory windows, etc have max. height of 35 feet.

All landscaping in the C-1 Zone shall be in accordance with Section 12 of the COA Zoning Ordinance. The development of the site shall be in accordance with the Design Review Manual.

4.3 Heritage Site Development Standards

Development standards for the Heritage Site are provided in Table 5.

TABLE 5 Heritage Site Development Standards	
ZONE	Heritage Site
Minimum Lot Width	None
Minimum Site Depth	None
Lot Coverage	None
Max. Building Height	30 feet
Front Yard Setback	None
Side Yard Setback	15 feet (1)
Rear Yard Setback	20 feet (1)

(1) Setback from residential use or district: 50 feet

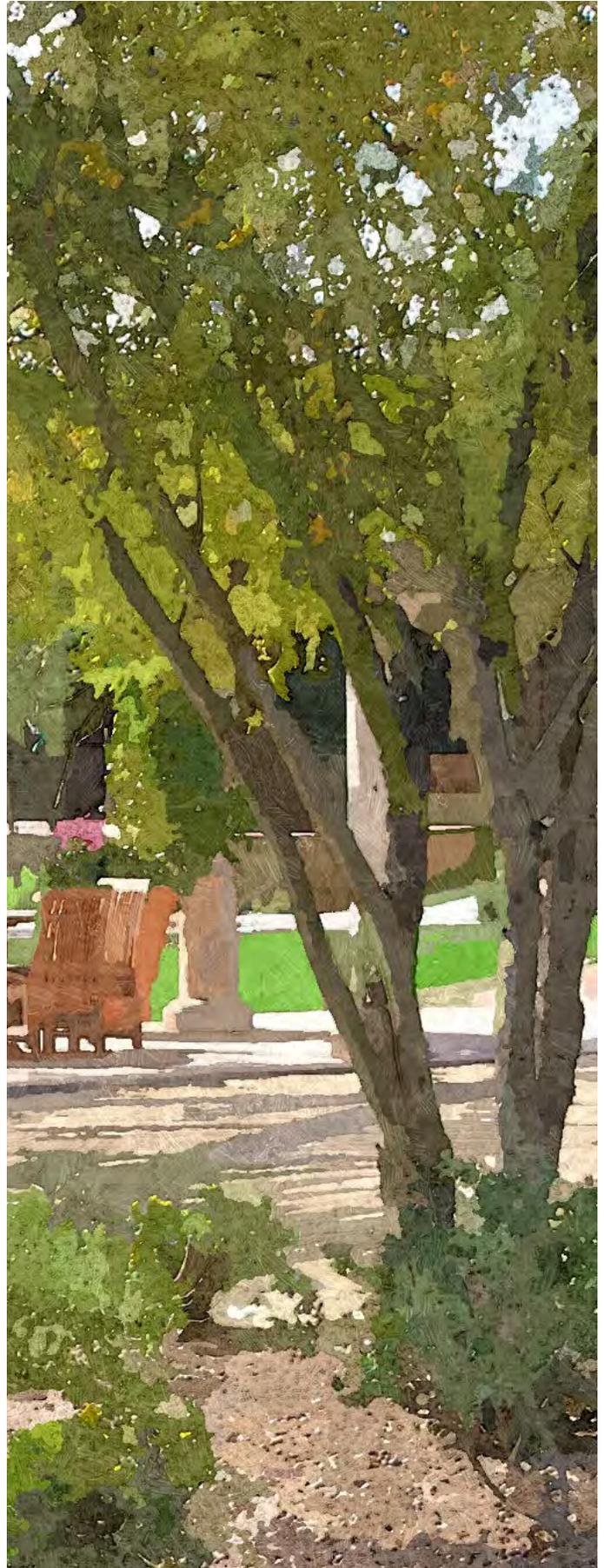
5. DESIGN GUIDELINES

5.1 Purpose and Overview

The following information and specific criteria establishes the aspiration for the overall visual character and associated quality for the new community. These guidelines address the basis of expectation for site planning, architecture, theming and branding and landscape architecture as it relates to the integration and orchestration of neighborhoods within the overall comprehensive master plan community. These criteria shall supersede in their entirety the City's Residential Design Manual and those aspects of the Subdivision Ordinance related to Architectural Design. The identified design criteria for each aspect of the residential design guidelines will help to ensure achievement of the goals and objectives established here in.

The primary goals of these guidelines are to:

- Encourage creative and flexible site planning solutions that foster safe, attractive and community oriented neighborhoods.
- Establish a palette for architectural design that aligns with the overall vision of the community and ensures a richness of styles, character and variety.
- Introduce overarching community theming and branding elements that reinforce the special nature of the community and provide an aesthetic that compliments the residential building design.
- Incorporate an integrated landscape strategy for the overall community that reinforces the importance of the street scene within the context of residential building fabric.



Key objectives that will be the overarching basis of all design initiatives necessary to achieve the stated goals will include the following:

Site Planning and Design

- o The design of roads, trails, open space features, community amenities and orchestrated neighborhoods shall be crafted in an overall **comprehensive nature** to reinforce the sense of community engagement and identity.
- o Neighborhoods shall be carefully positioned around formative parks and associated open space elements to help **reinforce appropriate scale**, social engagement and a special sense of place.
- o Residential blocks shall be organized in more **sophisticated and intricate patterns** that allow for varied street scenes and reinforce the opportunity for special place-making.
- o Each grouping of neighborhoods shall provide a clear sense of connectivity to community features, amenities and the trail network.

Site Planning and Design Prescriptive Summary Data:

1. Street fronting side loaded lots will be accompanied by a 10-foot minimum landscape buffer.
2. Walkways within grouping of neighborhoods should provide at least three pedestrian connections to adjacent perimeter pathways (trails).
3. No two identical elevations shall be placed side-by-side or directly across the street from each other.
4. A minimum of 3-foot variation will be required to the front of the home in order to ensure the placement of each home is different from the next.

5. Livable space and side loaded garages shall be allowed a front setback of 10 feet and non-conditioned/ open porches shall have setbacks up to 8 feet.
6. Same floor plans may be plotted on the adjacent lot provided a different elevation is incorporated.
7. No more than two of the same plan, regardless of the elevation, should be plotted next to each other.
8. A single plan may not be sited on more than 50 percent of the lots on a builder parcel.
9. In order to ensure the desired architectural variety on each street and in each neighborhood, at least 3 different elevations should be used on each side of every block.
10. To ensure the variety of color schemes diversity desired along a street scene, same color schemes cannot be plotted adjacent to one another.
11. Garage doors shall be recessed from the adjacent façade at least 8-inches.
12. Driveways less than 30 feet in length may be a maximum of 18 feet wide.
13. A minimum of 6 feet is required between adjacent detached residential driveways
14. On corner lots, garages and associated driveways should be located on the side of the lot (assuming front street/ not side street) furthest from the corner.
15. Driveway pullouts for additional parking or for access to rear yards are prohibited.
16. Front walks should be a minimum of 3 feet wide and no more than 5 feet wide.
17. Avoid the placement of lots centered on “T” intersections and avoid driveways opposite of “T” intersections.
18. Avoid acute angles where rear lot lines and side lot lines meet.
19. Cul-de-sacs shall not terminate on blank walls or narrow landscape areas.
20. Design neighborhoods so that no more than eight lots are placed in a row backing onto a collector street before there is a change in the lot pattern, streetscape, or wall variation.

Architecture

- o The strategic location and mix of lot sizes (and associated range of home designs) integrated throughout the neighborhoods shall reinforce the desired sense of variety.
- o Home designs shall express a sense of variation as part of the overall street scene based on specific requirements associated with placement, color palette, style and detailing.
- o Garage dominant street scenes shall be minimized.

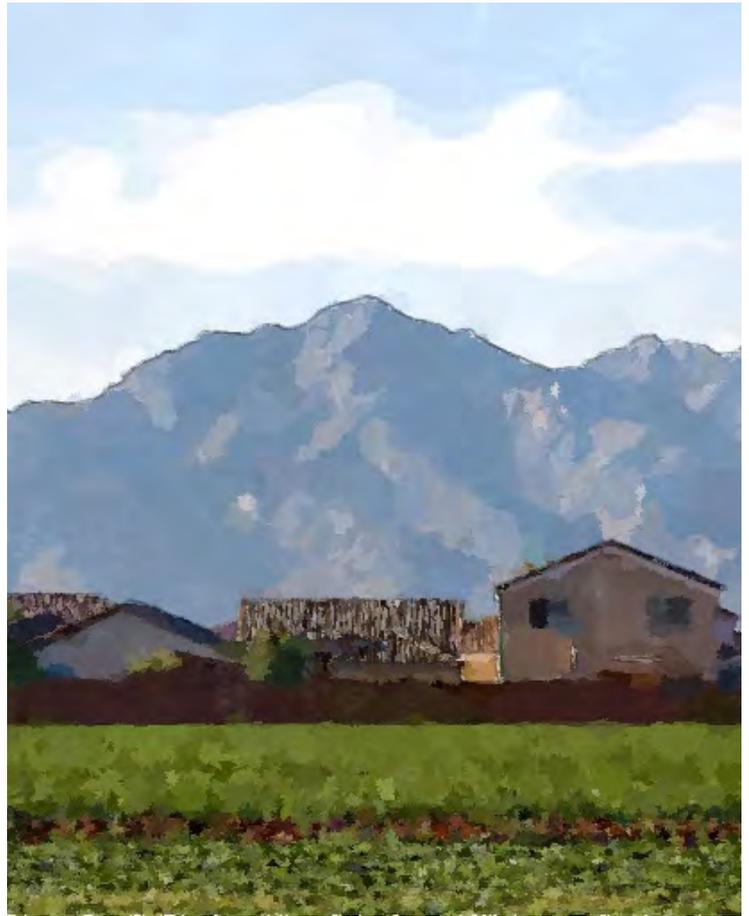
Architecture Prescriptive Summary Data:

1. Each builder home series (associated with a particular neighborhood parcel) shall be required to prepare a minimum of 3 floor plans, 4 elevations and 6 colors.
2. Windows should be a minimum of 18 inches from any exterior corner of the building mass.
3. Oversized or undersized shutters will not be permitted.
4. Shutters should have a minimum 1-inch thickness.
5. Roof materials should be of high grade and should include a variety of colors and textures (minimum of 3 materials and 3 colors to reinforce visual diversity.)
6. Any use of skylights must be concealed from "public" view.
7. Roof mounted mechanical equipment is not permitted.
8. Dormer roof vents are not allowed.

9. Perimeter chain link fences will not be allowed in the community.
10. Walls connecting two buildings at the front of a lot (generally parallel to the front street) should be set back a minimum of 5 feet from the front face of the adjoining home.
11. Walls alongside yards/ side street conditions, should be set back at least 5 feet from the front elevation of the home and no closer than 18 inches from a window or "pop out" element.
12. Natural wood is not durable in the desert condition and is not permitted as a primary exterior façade, wall or fence material.
13. View fences should be integrated into the overall layout of community walls and include options for the following scenarios (fence (in feet) and wall (in feet); "1 over 5", "2 over 4", "3 over 3", "4 over 2", and "5 over 1".
14. Side yard access gates should not exceed 5 feet in width or taller than the adjoining wall.

Community Theming and Character

- o Community theme walls and associated monumentation shall be designed to complement the overall character of the architecture and setting.
- o Signage, lighting, park structures and other community features shall be designed to complement the overall character of the community and associated neighborhoods.



Landscape Treatment

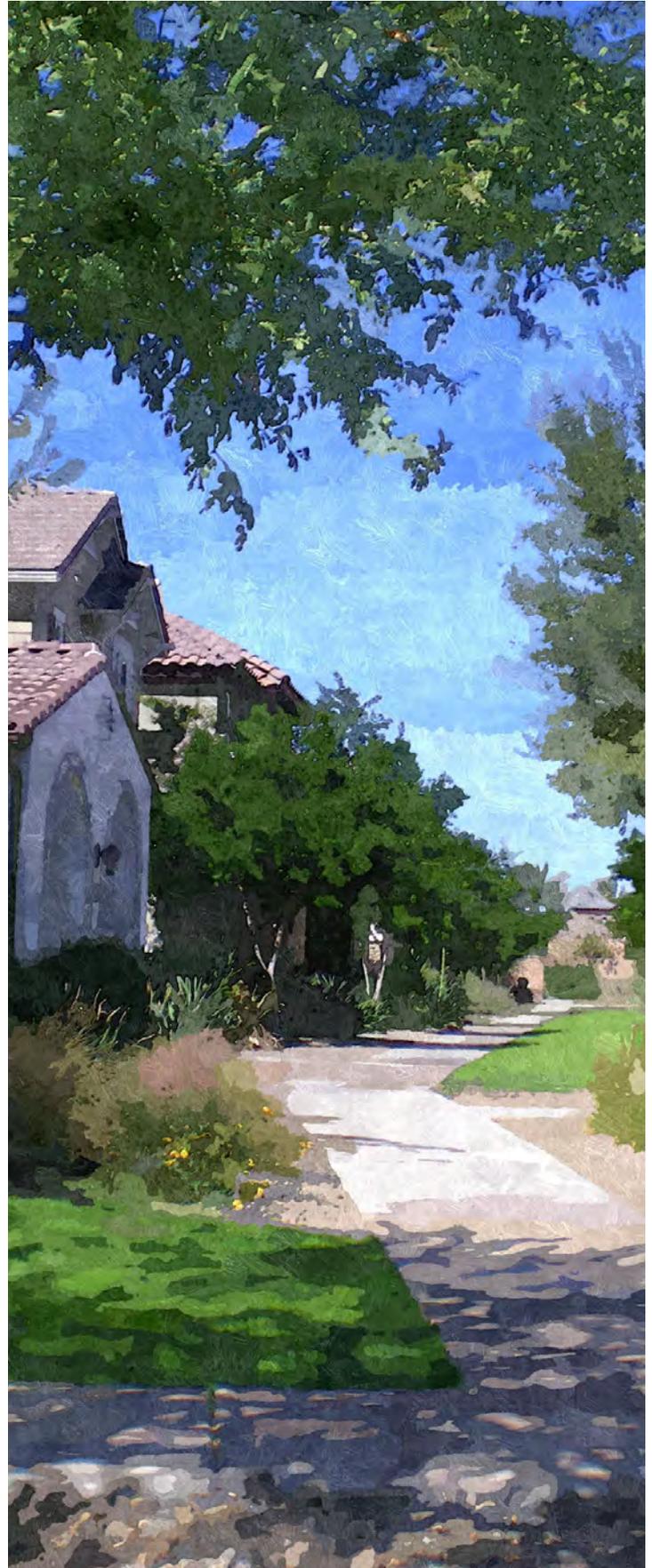
- o Street trees shall be organized in a manner that reflects the overall design of the community and include a variety of species and treatments in order to reinforce the unique setting.
- o Street trees shall be a major focus of the street scene to compliment residential building forms
- o Landscape treatment of open space and parks shall reinforce the overall design character and theming of the community and neighborhoods.



5.2 Site Planning and Design

Overview

The goal for the site planning associated with community and neighborhood development shall focus on all opportunities that reinforce the ability to create unique and distinctive environments. The careful design integration of the street system, the open space and park system, the trail network and the layout of the neighborhoods provides the greatest tools to ensure an attractive and inviting setting. At the same time, all site planning and site design recommendations shall take special care to focus on the relationship between residential privacy needs with the aspirations and opportunities for community engagement. All site planning recommendations shall have at its basis the need for safe, convenient and functional environments.

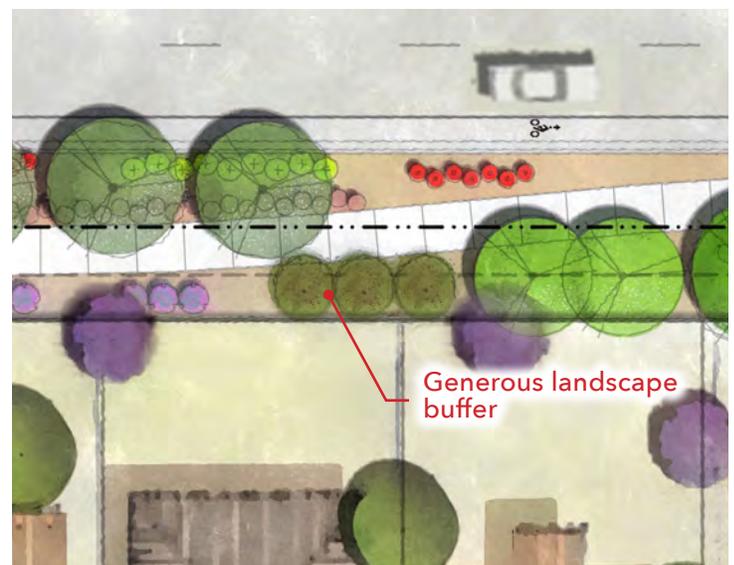


Design Criteria

1. Include creative (and smaller) block and street layout patterns that encourage opportunities for visual diversity and special place making.
2. Local residential streets shall not exceed 800' unless curvilinear or incorporate traffic calming measures.

3. Streets, blocks and home orientation shall consider both solar orientation as well as special views to the Estrella Mountains.

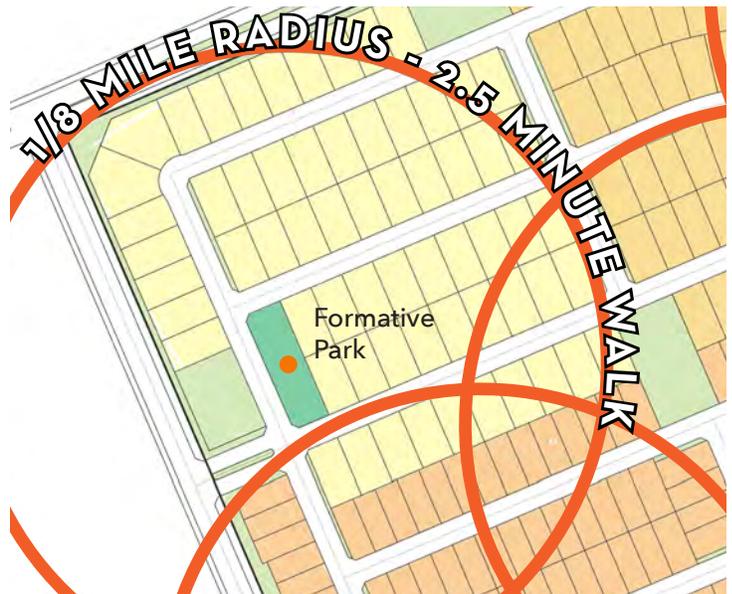
4. Special care shall be given to homes that back up to arterial roads and collector roads. Generous medians with landscaping and earth berms shall soften the visual character.



5. Where appropriate open space for formative parks and or open space for detention should be placed to maximize use, exposure for residents, and opportunities for community engagement through: proximity, ease of access, special programming and unique features.



6. Formative parks to be strategically located throughout cluster of neighborhoods to provide a special sense of place for residents.



7. Strategic lotting techniques shall be utilized along utility line corridors to limit direct visual impacts with vertical pylons.



8. Street fronting side loaded lots shall be limited to no more than three full blocks.



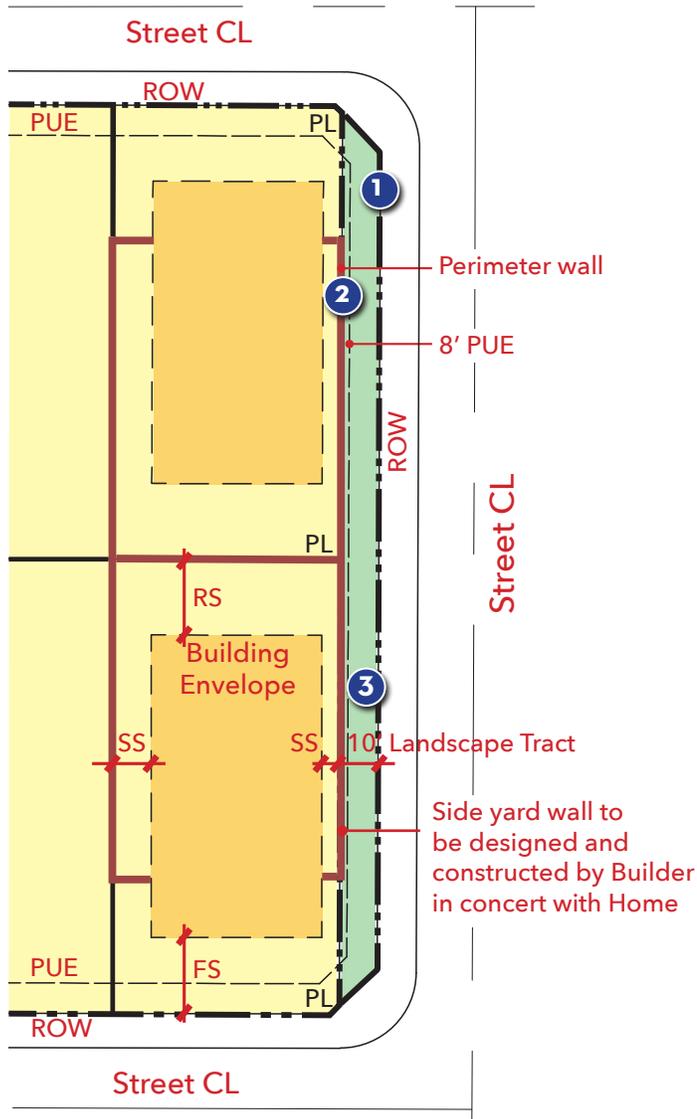
9. Theme walls and perimeter property walls shall be designed within the visual context of the community and specific neighborhood. Perimeter and side yard walls will be encouraged to be designed with view fencing to limit the appearance of solid screen walls.



10. Special care shall be provided for the design of community and neighborhood entries to integrate landscape, signage and monumentation. Neighborhood entrances are envisioned to be much more subtle in nature.

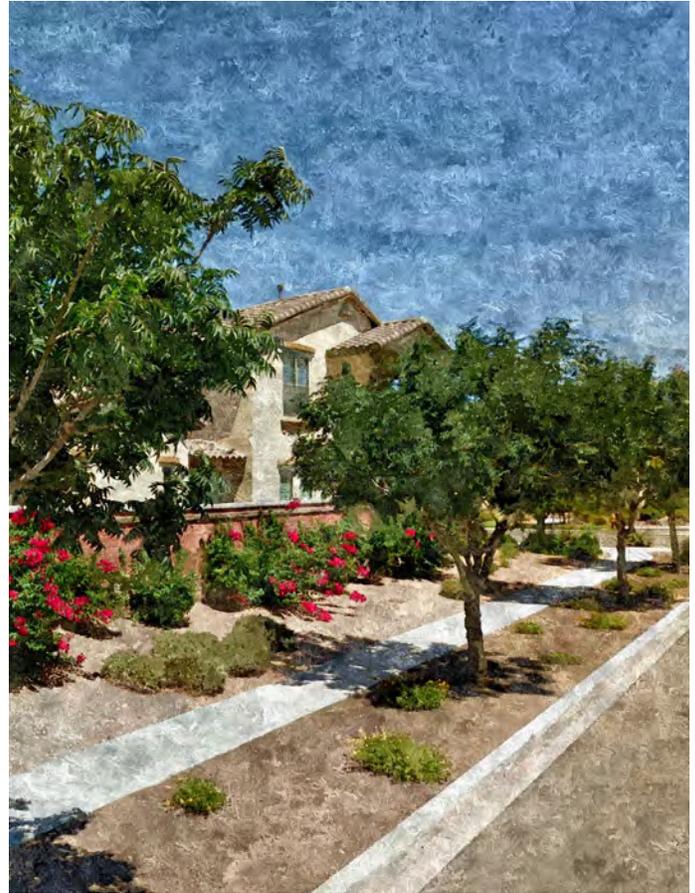


11. Street fronting side loaded lots will be accompanied by a 10-foot minimum landscape tract.



FS: Typ. Front yard Setback
 RR: Typ. Rear yard Setback
 SS: Typ. Side yard Setback

- 1 10-foot Landscape buffer from ROW
- 2 Perimeter wall to be designed and constructed in concert with Home (color and appropriate returns)
- 3 Landscape maintenance:
HOA to maintain landscape tract



12. Utility boxes and mechanical equipment shall be screened appropriately.



13. Mail box facilities shall be strategically located for convenience within neighborhood areas and shall visually compliment the overall community theming and branding through the use of colors, materials and forms.



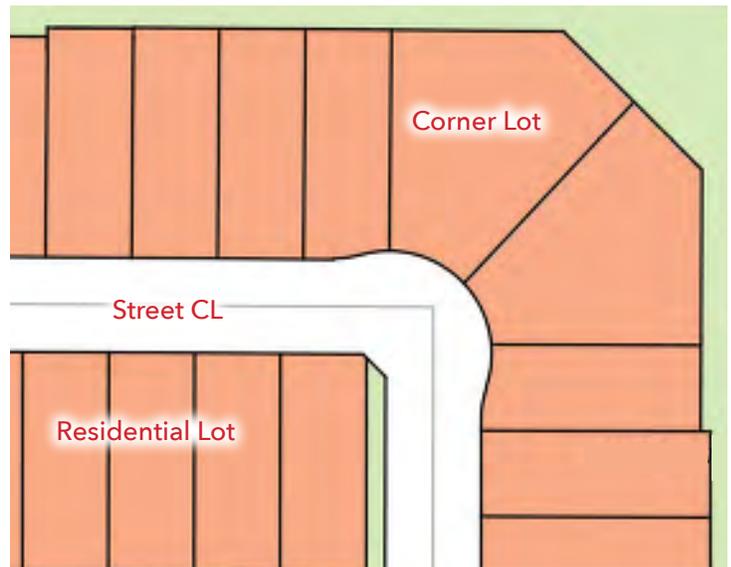
14. Specialty street signs will be incorporated along the Parkway and Greenway.



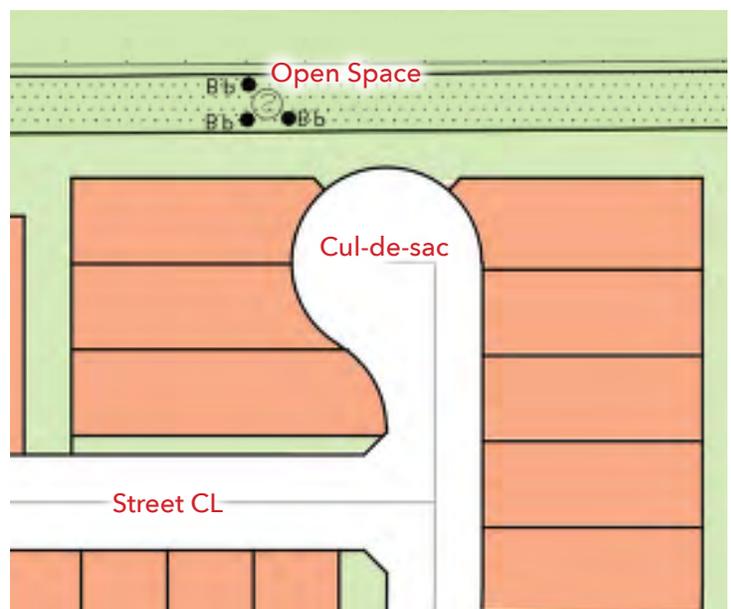
15. Avoid the placement of lots centered on “T” intersections and avoid driveways opposite of “T” intersections.



16. Avoid acute angles where rear lot lines and side lot lines meet.



17. Cul-de-sacs shall not terminate on blank walls or narrow landscape areas.



18. Any residential walls adjacent to open space, parks, trails, should incorporate view fencing.



19. Design neighborhoods so that no more than eight lots are placed in a row backing onto a collector street before there is a change in the lot pattern, streetscape, or wall variation.



Additional Key Considerations

- The Community framework and series of thoughtfully organized residential neighborhood enclaves form the core residential living environment envisioned for the project.
- The groupings of neighborhood enclaves are connected and tied together by a proposed Parkway (Major Collector street designation) and Greenway (Minor Collector street designation) road system (connected to local roads). These main roadway systems should be designed with trails, landscape and features that foster the community identify (rather than typical straight-run, higher speed arterial roadway systems).
- The grouping of neighborhoods, form the basis of the social fabric of the entire community.
- The Community Park, Neighborhood Parks, and Formative Parks serve as community gathering spots for socialization, recreation, education and cultural opportunities.
- Open space and trails should be incorporated into the neighborhoods and fabric of the community in an integral and thoughtful manner.
- Provide a network of convenient pedestrian walkways (trails) to connect areas throughout the property to reinforce the sense of community and connectivity.
- Pedestrian corridors identified across the community and within right-of-ways (ROWS) (as well as easements) should carefully consider crosswalks, neighborhood connections and multiple route options.
- Walkways within grouping of neighborhoods should provide at least three pedestrian connections to adjacent perimeter pathways (trails).
- Neighborhood entrances and parks may be signed with neighborhood names, but should not be used to distinguish a Builder product.
- Access for emergency vehicles shall be integrated into the design of the overall community.

Street Scene

While the following architectural section of these guidelines shall address style, features and conditions of the 3-dimensional built form based on the individual home design, the street scene is made up of the collection of homes as well as several key other considerations. The following five key components address the key criteria necessary to ensure a successful street scene (one that has visual variety vs. the typical suburban setting that is dominated by sameness).

- Home design variation from house to house
- Varied front yard setbacks
- Robust palette of home colors
- Generous street tree program
- Minimizing garage dominant home elevations

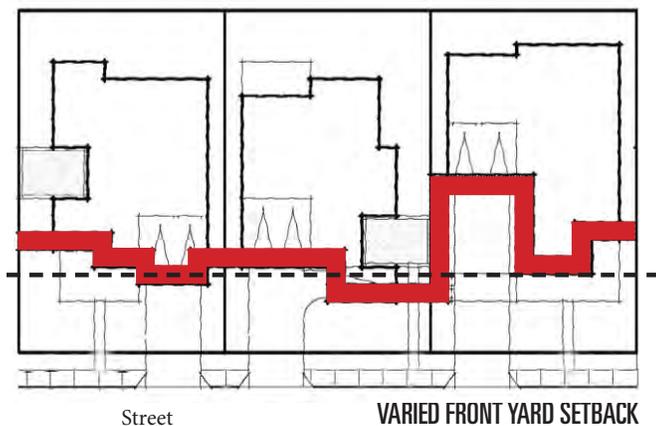
A. Home design variation from house to house

For each builder home series associated with a specific neighborhood, a minimum of 3 floor plans and 4 distinct elevations will be required. No two identical elevations shall be placed side-by-side or directly across the street from each other. The variety of house models and elevations will be carefully placed to limit repetition and ensure variety. When possible, this will also be done with the careful placement of one and two-story homes to reinforce interesting street scene massing. The accompanying illustration showcases the potential visual variety that can be created based on the sequencing of floor plans and elevation styles (in addition to the variety of color options).



B. Varied front yard setbacks

A minimum of 3-foot variation will be required to the front of the home (assumed 20 feet to face of garage) in order to ensure the placement of each home is different from the next. In addition, livable space and side loaded garages shall be allowed a front yard set back of 10-foot and non-conditioned/ open porches shall have setbacks up to 8 feet. Together, these parameters will encourage the opportunity to create varied setbacks for the range of home designs- thus making the street scene more interesting and attractive.



Additional Key Considerations

- Elevation diversity is encouraged. Monotonous look-a-like homes are not permitted.
- For a building on a selected lot, the same elevation is not permitted on either of the two adjacent lots as well as the lot directly across the street.
- Same floor plans may be plotted on the adjacent lot, provided a different elevation is incorporated in each plan.
- No more than two of the same plan, regardless of the elevation, should be plotted next to each other.
- A single plan may not be used on more than 50 percent of the lots on a builder parcel.
- In order to ensure the desired architectural variety on each street and in each neighborhood, at least 3 different elevations should be used on each side of every block.
- Like color schemes should not be plotted adjacent to or immediately across the street from one another.
- Rear elevations should include some degree of massing articulation. This can be accomplished by careful consideration of building height, building form, roof lines, porch extrusions and window placement. Different floor plans and architectural styles should reflect these treatments to the rear elevation as well to limit any notion of composition monotony.
- Streetscapes should provide continuity between adjacent blocks by including cohesive and transitioning landscape treatments.
- Corner lots should be designed to face the "main street" as well as include design consideration for the adjacent side street.



C. Robust palette of home colors

Unlike subdivisions of the past in the Phoenix valley that were most typically a monotone shade of beige, the goal here is to introduce a variety of color options that are more in-line with the overall theme and brand for the community. A minimum of six color schemes shall be required for each set of builder floor plans and associated elevations.

The proposed color inspirations will take clues from natural context of the land, river valley and adjacent mountains as well as the historic contexts of the surrounding properties.

			INSPIRATIONAL	
				
				
				
				
				



Additional Key Considerations

- Use color schemes harmonious with adjacent neighborhoods and enhance the main color theme with accent colors.
- Incorporate a variety of building, trim, accents, color, materials and style into primary design themes to promote architectural visual interest.
- Use exterior building materials, finishes and colors in harmony with the overall community theme and character.
- The use of color and the variety of color is for the homes is an essential element to the overall character and quality of the community. Color schemes should reflect the architectural styles of the homes, enhance diversity and complement the overall character of the community.
- To ensure the variety of color schemes diversity desired along a street scene, same color schemes cannot be plotted adjacent to one another.
- Color schemes for each home must address architectural style and incorporate variety and visual balance of color.

D. Generous street tree program

Trees can make the biggest impact on the street scene. Street tree species selection, size, spacing and location will be carefully incorporated into each block to maximize the value of this landscape treatment.

The Landscape and Open Space section of the Design Guidelines includes detailed requirements for front yard landscape treatments that will ensure the desired visual outcome for the Lakin property neighborhood street scenes. These requirements include the quantity, placement and orientation of trees in front of the home and along the street edge. Trees will provide shade, help screen garage doors and bring added color and character to the neighborhoods.



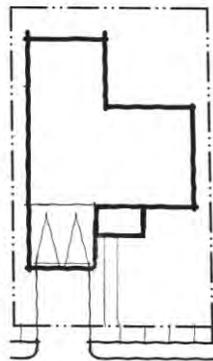


E. Minimizing garage dominant home elevations

Garages should be designed to blend with the character of the home. Colors should not be white and typically work best if they are a similar shade to the base home color or a little darker complimentary color. Garage doors shall be recessed from the adjacent façade at least 8 inches. Where appropriate, special complimentary features such as light sconces, iron work accents, medallions, corbels, molding and or accent header boards may be incorporated. At least one accent tree shall be placed in close proximity to the garage and driveway to provide additional visual interest. Alternative driveway materials will be strongly encouraged (unit pavers or integral color).

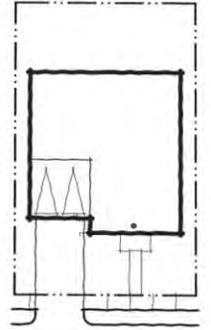
FRONT FORWARD

- FRONT FORWARD GARAGE
- INTEGRATE THE GARAGE INTO THE ARCHITECTURAL DESIGN OF THE HOME
- GARAGE DOOR(S) SHALL BE RECESSED 8 INCHES



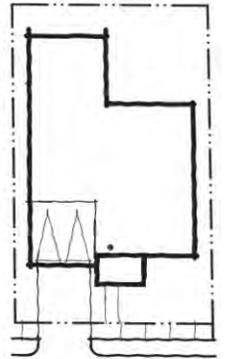
SHALLOW-RECESSED

- RECESSED FROM FRONT LIVING AREA OR FROM A FRONT PORCH
- INTEGRATE THE GARAGE INTO THE ARCHITECTURAL DESIGN OF THE HOME
- GARAGE DOOR(S) SHALL BE RECESSED A MINIMUM OF 8 INCHES



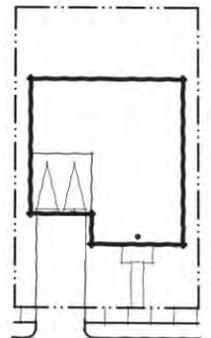
PORCHSIDE

- RECESSED GARAGE FROM FRONT OPEN COVERED PORCH
- INTEGRATE THE GARAGE INTO THE ARCHITECTURAL DESIGN OF THE HOME
- GARAGE DOOR(S) SHALL BE RECESSED A MINIMUM OF 8 INCHES



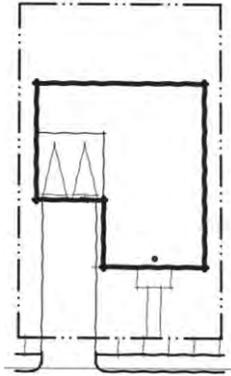
MID-RECESSED

- RECESSED FROM FRONT LIVING AREA
- INTEGRATE THE GARAGE INTO THE ARCHITECTURAL DESIGN OF THE HOME
- GARAGE DOOR(S) SHALL BE RECESSED A MINIMUM OF 8 INCHES

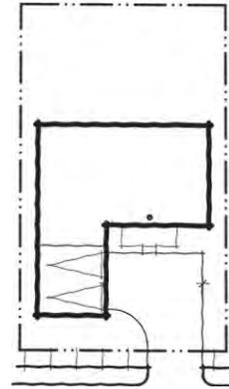


DEEP RECESSED

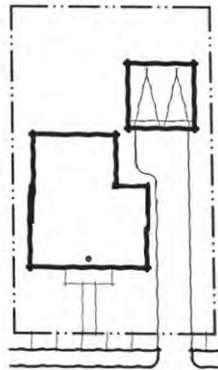
- RECESSED AT FROM FRONT LIVING AREA
- INTEGRATE THE GARAGE INTO THE ARCHITECTURAL DESIGN OF THE HOME
- GARAGE DOOR(S) SHALL BE RECESSED A MINIMUM OF 8 INCHES

**SWING-IN**

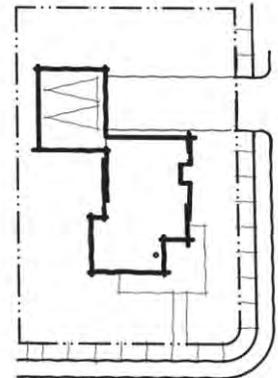
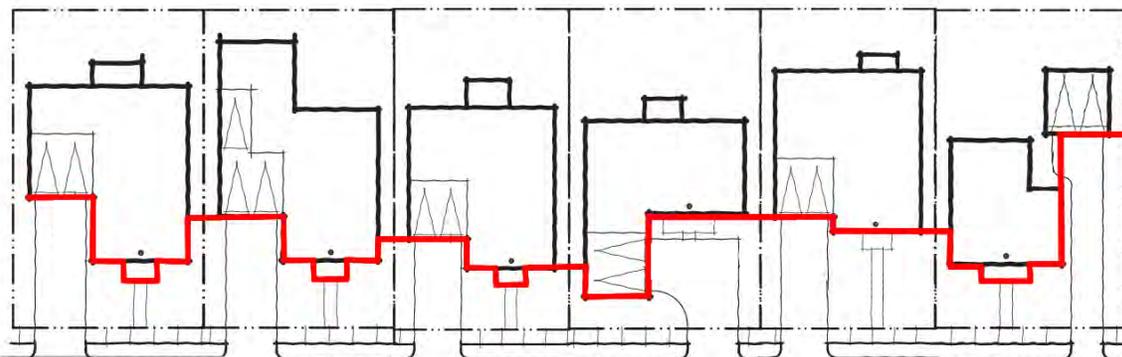
- STREET-FACING WALLS SHALL HAVE THE SAME ARCHITECTURAL TREATMENT AS THE FRONT ELEVATION
- INCLUDE AT LEAST ONE STREET-FACING WINDOW
- INTEGRATE THE GARAGE INTO THE ARCHITECTURAL DESIGN OF THE HOME
- BACK-UP SPACE IS REQUIRED
- GARAGE DOOR(S) SHALL BE RECESSED MINIMUM OF 8 INCHES

**DETACHED REAR YARD**

- THE GARAGE SHALL HAVE THE SAME ARCHITECTURAL DESIGN AND ROOF STYLE AS THE HOME
- GARAGE DOOR(S) SHALL BE RECESSED A MINIMUM OF 8 INCHES

**SIDE-ENTRY**

- ALLOWS GARAGE ORIENTATION FLEXIBILITY FOR CORNER LOTS
- INTEGRATE THE GARAGE INTO THE ARCHITECTURAL DESIGN OF THE HOME
- GARAGE DOOR(S) SHALL BE RECESSED A MINIMUM OF 8 INCHES

**GARAGE PLACEMENT COMPOSITION**

Additional Key Considerations

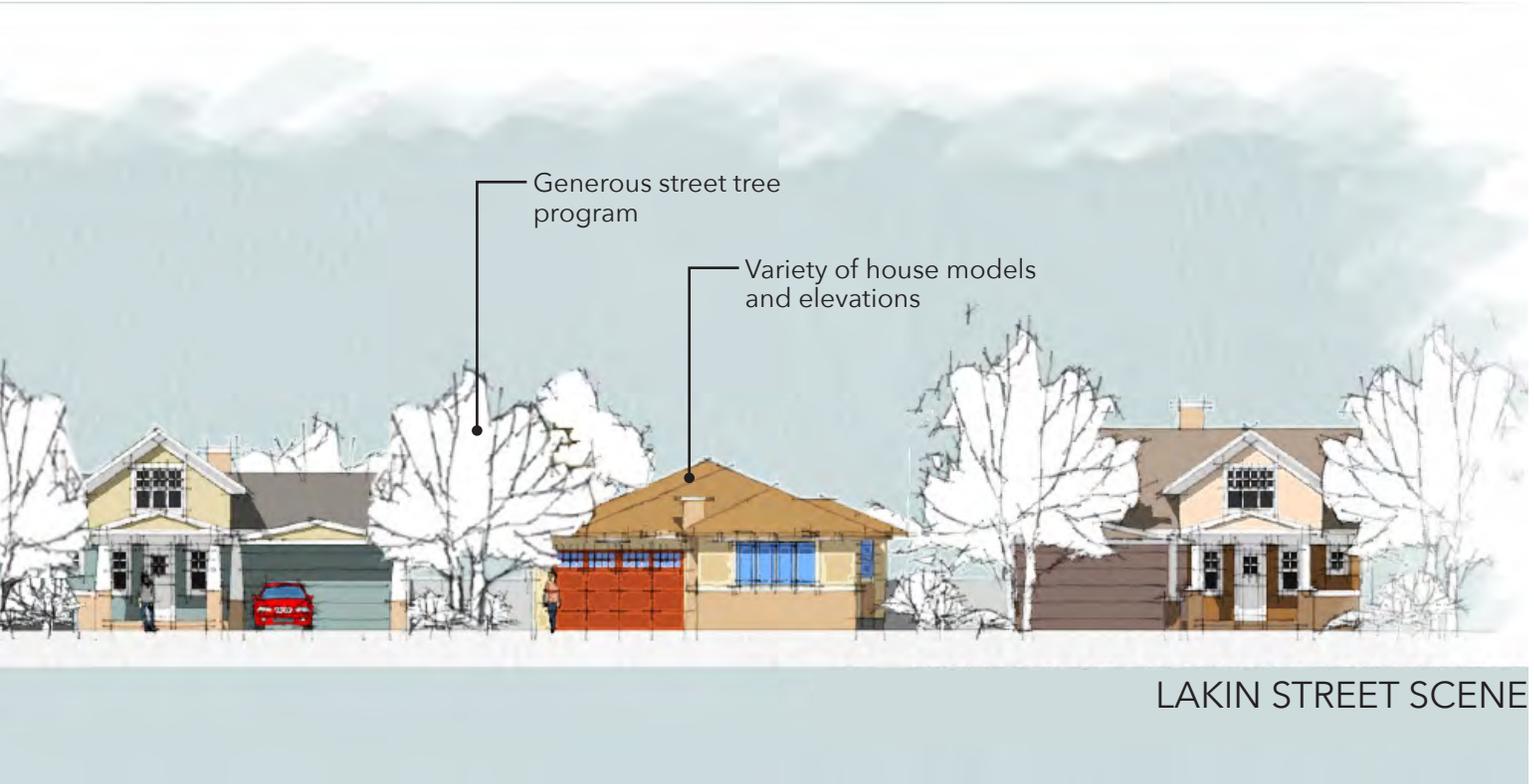
- Driveway widths should be visually minimized as much as possible.
- Driveways less than 30 feet in length may be a maximum of 18 feet wide.
- Hollywood driveways are permitted.
- A minimum of 6 feet is required between adjacent detached residential driveways.
- On corner lots, garages and associated driveways should be located on the side of the lot (assuming front street/ not side street) furthest from the corner.
- Driveway pullouts for additional parking or for access to rear yards are prohibited.
- Driveways should intersect the street generally at right angles.
- Front walks connecting the public sidewalk to the home front door are encouraged. Front walks should be a minimum of 3 feet wide and typically no more than 5 feet wide.
- Paths to side gates that access enclosed areas and or the home's backyard should be subtle in nature.
- Design of the home should take great care in providing visual relief to the location and prominence of the garage.
- Garages should strive to be less dominant than the front door and to not dominate the view from the street.
- Use garage door materials that give the doors a more residential or personal scale.
- Strategically place plantings adjacent to the garage door and driveway to visually screen the full extent of view.
- Garage door setback should allow for enough length to allow for parking in the driveway without encroaching into the sidewalk along the street.
- Garage door style should complement the architecture of the home.



F. Street Scene

Together, these five components, along with the actual design of each residence, will result in a very attractive and vibrant street scene. The following illustrations of two contrasting street scenes provide a visual guide to our intended outcome based on the associated design criteria identified.





5.3. Architecture

Overview

The proposed architecture for the community will establish a high quality of design and execution. The design direction will complement the overall community theme and branding concepts and will ensure a visual diversity of homes, attractive street scenes and unique neighborhoods. The following considerations for architectural design are intended to ensure the integrity of the built environment and reinforce the overall sense of community.



Design Criteria:

1. The design styles identified within this document will ensure a rich variety of architecture character throughout the community.
2. Each builder home series (associated with a particular neighborhood) shall be required to prepare a minimum of 3 floor plans, 4 elevations and 6 color options.
3. Floor plan designs shall be influenced by the range of buyer demographics and product segmentation considerations.
4. Garage dominant street scenes shall be minimized.



5. Facades and massing shall be articulated with variations in massing, roof forms, wall planes as well as surface articulation.
6. Front entrances shall be distinguished with a human scale that is inviting in nature and visible from the street.



7. Location of adjacent trees shall provide a particular focus to shield south facing windows and patios.



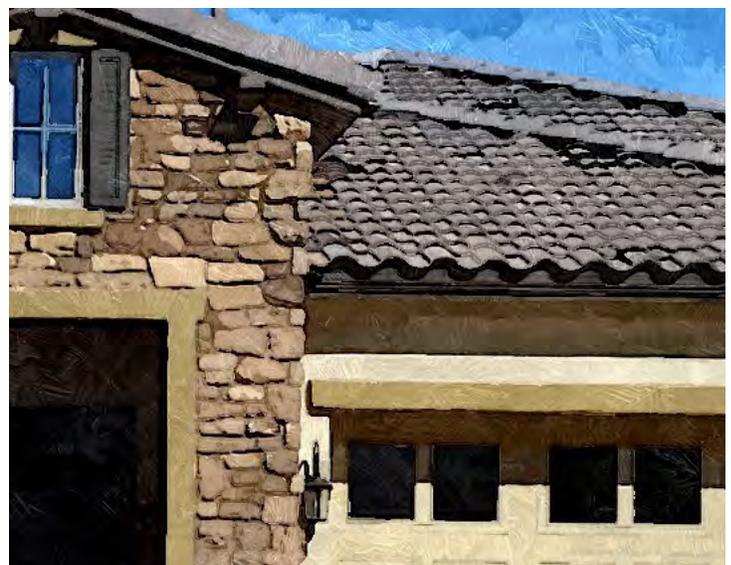
9. All residential site lighting shall provide shielded light sources that project light down and not up.
10. Spot lights and flood lights shall be prohibited on the front.
11. Sustainability oriented initiatives, such as Energy Star rated products and appliances, will be encouraged for all builder partners as well as home buyers.



12. All accessory structures shall be designed in the same manner as the main residence.
13. Base façade materials shall be predominately stucco, composite siding and or masonry veneer. No more than two predominant façade treatments shall be incorporated onto any single overall building.
14. Façade accents of cultured stone or masonry veneer can be used in a sparingly fashion to accentuate building features. In these instances, the use of manufactured materials set on a façade plane shall be incorporated in a manner that terminates in an "internal" corner so that the actual depth of the stone or masonry is not visually exposed.



15. Modest front courtyards, porches or covered entry ways (including the use of trellises) are encouraged when appropriate within the context of the specific architectural style.
16. Any articulated columns shall be a minimum of 8-inches x 8-inches so as to express an appropriate sense of scale.



17. Creative use of metal accents shall be incorporated with a great deal of constraint and care.



18. Shutters and awnings shall be encouraged to help add variety and accent to the overall palette of architectural styles and associated elevations.



19. Homes shall include four-sided architectural elements. This includes window pop-outs/ molding and shutters where appropriate.



Additional Key Considerations

- Design residential home entrances as prominent and easily identifiable with an appropriate transition from the exterior to the interior.
- All elements of the home design should be utilized to create a varied and interesting composition for the individual home as well as add to the overall street scene.
- All home design should include durable building materials.
- Use rhythm in the design to provide interest and variety. Encourage visual variety to the home by using relief in elevations and articulation in plan that creates shade and shadow.
- Encourage architectural interest and style by varying horizontal and vertical elements of facades.
- Each home should be designed to create a visually interesting and balanced composition of varying forms, volume, massing, heights, and roof styles.
- Building forms should reflect quality design that incorporates appropriate scale and proportion, architectural character and detailing.
- Ornamental and structural details should be used to accent the architectural style of the home.
- Columns and posts should appear to be solid supporting elements.
- The front entry and guest arrival to a home should be open and welcoming.
- The front door should be a statement about the quality of the home.
- Screen doors and or security door gates should match the architectural style of the home. They should be painted or stained an appropriate complementary color to the main body color of the home and the front door.
- Solar sensitive site design should include careful consideration of orientation of homes (maximize north-south alignments) to limit west facing backyards when possible.
- Energy efficient design considerations should include; solar orientation of windows, doors, landscaping, tree placement and other shading devices.
- Windows should be a minim of 18 inches from any exterior corner of the building mass.
- When a stucco finish “pop-out” is used as a window sill and or accent, it must be wide enough to appear that it bears on the walls on either side of the windows.
- Shutters should be sized to fit the window opening and mounted in a manner to appear “functional”.
- Oversized or undersized shutters will not be permitted.
- Shutters should be constructed out of wood or other high-quality materials with a wood-like appearance and have a minimum 1-inch thickness.

Architectural Styles

Overview

The community is envisioned to express a wide range of design styles that will reinforce the desire to create a rich fabric of visual character and quality. These range of housing design styles will help to curtail any sense of a typical suburban tract subdivision that are typified by monotony and sameness. Based on the overall community theming and branding, the following architectural styles will be established for the community:

- a. Spanish Colonial
- b. Territorial Ranch
- c. Craftsman/ Bungalow
- d. Traditional Southwest



Spanish Colonial



Territorial Ranch



Craftsman/ Bungalow



Traditional Southwest

Spanish Colonial

The Spanish colonial style brings the influences of the New England Colonial home together with the strong Spanish character of curvilinear elements. Arches are typically incorporated in entry doors, windows, covered entry ways, etc. In addition, curved forms can be seen in accents and detailed features throughout the home. Typically, the Spanish Colonial home can be found in both one and two-story scenarios. Stucco is the predominant façade material and colors are usually lighter in shade than the other styles identified. Roof forms are typically gable, but the Spanish influence allows for opportunities to accent massing with other low-pitched forms such as the hip.



Territorial Ranch

The Territorial Ranch style takes its cues from Spanish influences and focuses on simple and utilitarian forms. Ranch homes were historically focused on very functional layouts in response to lifestyle, available building materials and environmental conditions. The strong indoor/outdoor relationship of living in the southwest resulted in straight forward plan layouts with doors and windows typically oriented on special views and or farm fields. Modest shed roof forms were also incorporated to provide relief from the weather. Rectilinear massing with simple gable roof lines is the predominate overall form. Façade treatments include stucco with cladding of board and batten. Accents and detailing were kept simple for typical wear and necessary repairs.



Craftsman/ Bungalow

Historically known for its functional appeal, the craftsman style provides an attractive street presence with inviting entry ways, carefully placed windows and striking asymmetrical composition. Mostly horizontal in nature with shallow pitched roof form, the craftsman bungalow accommodates both single story and two-story design scenarios.

Other typical features include roof overhangs, secondary hipped and or shed roof forms, exposed rafter tails and stucco façade. Accents often include stone or brick. Lines of the roof and massing are typically simple in nature.



Traditional Southwest

The Traditional Southwest style is a picturesque country house based on classical design principles and adapted for the climate and context of the desert southwest. Massing is often more horizontal in appearance with windows typically centered on a particular façade. The massing of the home is simple in nature and windows have a tendency to be more vertical. The main portion of the house is usually more symmetrical. The pitched roof can take on both a gable or hipped form. Typically, facades are organized in a more formal geometry relative to the composition of doors, windows, accents and roof forms. Predominant façade treatment is stucco. Some accenting may include stone and or brick.



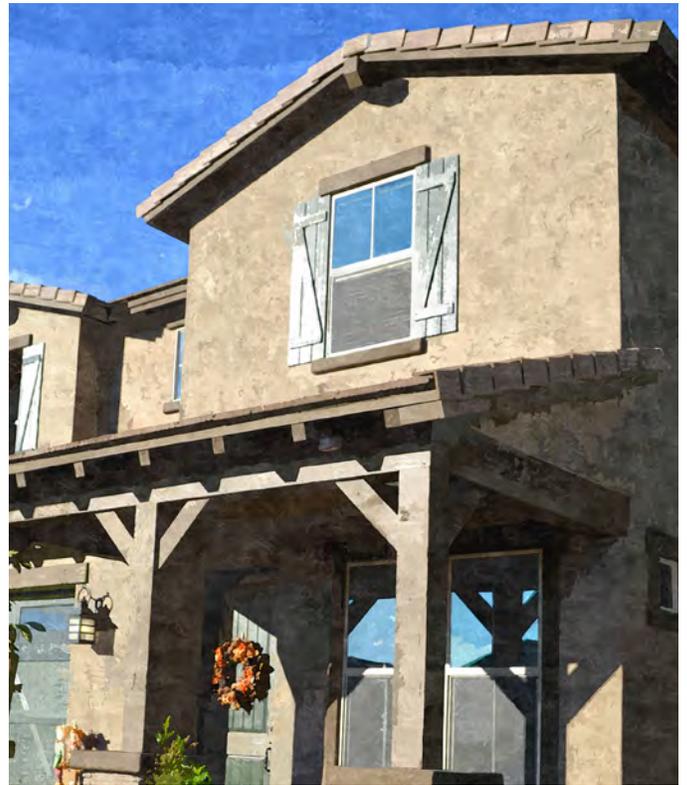
Anatomy of the House

Overview

No matter what the style, it is important to create continuity in the overall home design so that all major parts of the residential building are designed and executed with general best practices associated with architecture and design. Too often, “add-ons” that are intended to look nice, often add cost and take away from the overall composition of the house itself. A focus on key components and the appropriate design composition will itself reinforce quality and add to the overall visual character of the community (versus inappropriate details that often result in visual clutter).



1. The overall **building massing** should be simple in form with a single predominate façade treatment likely painted stucco. Additional façade accents should be done with a critical degree of constraint, not to take away from the visual integrity of the overall building. The color palettes and ranges provided should be incorporated in a thoughtful manner that is geared toward a primary base color, simple accents associated with trim and features, with a small degree of accents for front doors and the like.



2. In all case, the predominant gable **roof forms** should be low in stature. Based on the home design and associated floor plans, secondary roofs may take on small gables, hip and or shed forms. Any overhangs should be carefully considered based on the context of the desert sun and heat relative to associated on-going and long term maintenance. In some cases, shutter and awnings can be used to accent roof and window forms. Roofing materials should be of high grade and should include a variety of colors and textures (minimum of three materials and three colors) to reinforce visual diversity.



Additional Key Considerations

- Roof forms, pitch, massing, detailing and overhangs shall be complementary to the architectural style of the home. There should be variation in roof types, heights and prominence of ridgelines between elevations.
- Roof forms and materials should be appropriate for the architectural style of the home. This should include clay tile or concrete tile; in various styles and in blended, solid and muted colors.
- Solar panels and solar water heaters should be designed within the context of the roof massing. Solar panel locations should maximize the particular roof pitch and roof orientation without applications that protrude beyond existing roof angles and roof lines.
- Any use of skylights must be concealed from “public” view.
- Roof mounted mechanical equipment is not permitted.
- All roof accessories shall be painted to blend in with the roof color.
- Dormer roof vents are not allowed.
- Gutters, downspouts and exposed drain outlets should be consistent with the architecture of the home.
- Downspouts should be typically located at inside corners of the home to minimize the visual impact.
- Covered porches and balconies should have roof forms, roof materials, railings and finish materials (including color) consistent with the architectural style of the home. These elements should be integrated into the exterior elevation. Covered patios on the rear elevations should be architecturally integrated with the design of the home.



3. Doors and windows should be thoughtfully placed to be functional as it relates to the floor plan design and layout. Great care should also be taken relative to the front façade and the placement of windows (size/ shape/ location) with respect to the overall composition. Windows and doors should be placed in a manner that is additive to the overall composition and design for the home. Front doors and the entire entry sequence should be done in a manner that is attractive and inviting.



4. Any façade accents and features should be considered within the context of each architecture style identified and with great care to the overall composition of the front façade. More often than not, these “add-ons” can result in visual clutter and take away from the overall design composition. Façade accents should be incorporated with great constraint and only when done as an additive element to the overall design composition.



5. Garages shall be designed to blend with the overall character of each home. Recesses should be incorporated into the façade to provide visual depth with shadow lines and provide appropriate transition from the materials of the main façade to the materials and color of the garage doors. Extreme care shall be incorporated to minimize any sense of garage dominant street scenes. Homes that may have a three car garage, shall incorporate more than a single elevation condition to provide visual massing that offsets the two-car garage door from the third garage door. This can also be accomplished with a side-loaded garage layout for either the single or double door conditions.

6. Site walls shall be designed within the character of the architecture and community.



Additional Key Considerations

- Residential oriented site walls should integrate colors, materials, textures, forms and overall design character to compliment the adjacent home.
- Perimeter chain link fencing will not be allowed anywhere in the community.
- Use landscape treatment to ensure no long runs of blank walls.
- Low walls adjacent to residences (typically defining the extent of a front courtyard) should complement the architecture through the use of color, texture and or materials.
- Walls connecting two buildings at the front of a lot (generally parallel to the front street) should be set back a minimum of 5 feet from the front face of the building.
- Walls along side yards/ side street conditions, should be set back at least 5 feet from the front elevation of the home and no closer than 18 inches from a window or “pop-out” element.
- When alleys and or drive courts approach streets in such a manner to have “street frontage”, they should be screened from the public street by a low wall and or landscape that provides a visual buffer. It may be appropriate to allow for pedestrian access to connect to such alleys and or drive courts.
- Exterior wall finish should be style appropriate with the architecture style of the house.
- Acceptable exterior wall finish materials include; stucco, plaster, masonry and stone.
- Natural wood is not durable in desert conditions and is not permitted as a primary exterior wall (fence) material.
- View fences should be carefully integrated into the overall layout of community walls and include options for the following scenarios (“fence (in feet) over wall (in feet)”); “1 over 5”, “2 over 4”, “3 over 3”, “4 over 2” and “5 over 1”. Note- pool fences should be carefully coordinated with the design of community walls relative to particular code requirements.
- Side yard access gates should not exceed 5 feet in width. No double gates are allowed. Gates should be painted to blend with the home color and adjacent walls. Natural wood gates are prohibited.

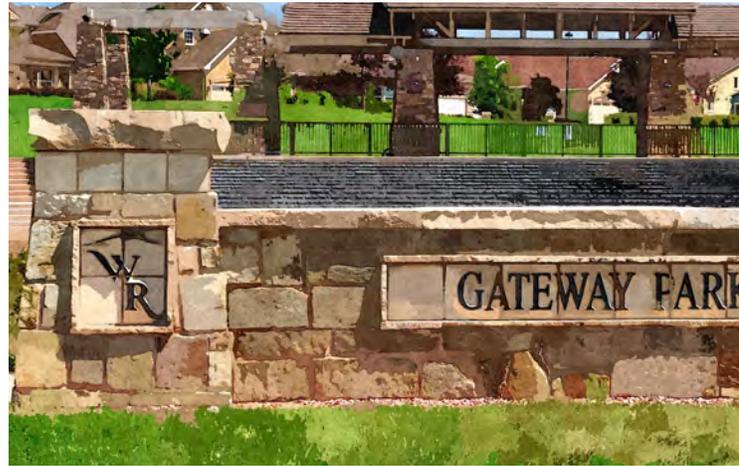
5.4 Community Theme and Character

The Master Developer shall establish the intended character and quality of the community's design sense by implementing an overall aesthetic theme for major community entries and monuments, signage and wayfinding, walls and landscapes, as well as landscape areas and parks. These areas will set the tone for the rest of the community as well as the range of envisioned neighborhoods.

Community features, elements and design components will be organized around a series of materials and desert treatments that take their clues from the overall community themes of health, wellness, community engagement and connection to nature. Highlighting the agrarian context along with the riverside setting, the community theming will look to use traditional buildings forms and elements in creative, fresh and contemporary methods.

The overall community theming and design will look to focus on a range of materials including:

1. RUSTED STEEL
2. STONE AND RIVER ROCK
3. BOARD FORM CONCRETE
4. PAINTED STUCCO
5. PAINTED METAL
6. WROUGHT IRON
7. TIMBER
8. COLOR FABRIC



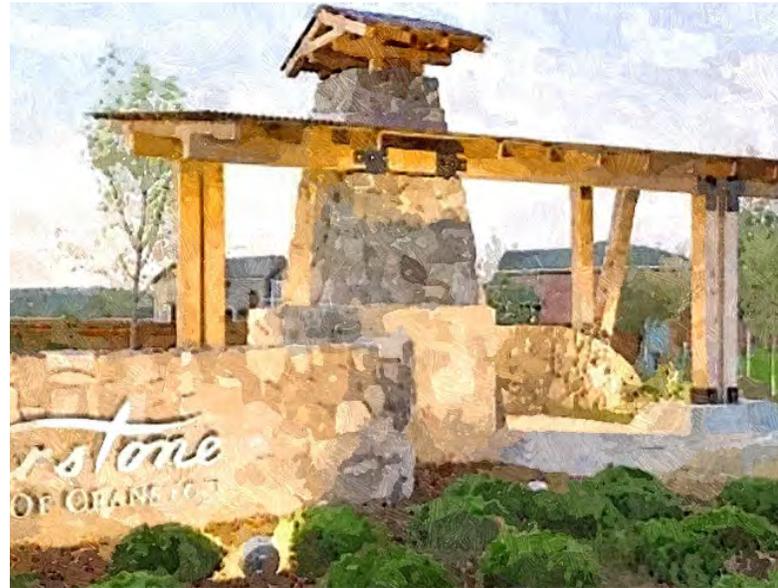


Features and Elements

The desired design forms, features and elements will be more linear in nature and will focus on an eclectic mix of color, materials, veneers, fasteners and details. Contemporary shapes and forms will be preferred over more organic treatments. Landscapes shall compliment this overall direction. Vertical features will strategically be incorporated into the design to provide visual beacons throughout the community to identify key community gathering spaces.

Specific community features to be incorporated within this design direction include:

1. MAJOR AND SECONDARY ENTRY MONUMENTS
2. MAJOR AND SPECIALTY SIGNAGE FEATURES
3. RETAINING WALLS AND LANDSCAPE WALLS
4. SCREEN WALLS AND VIEW FENCES
5. SITE LIGHTING
6. SPECIALTY PAVING
7. PARK FURNISHINGS
8. PARK SHADE STRUCTURES
9. LANDSCAPE





5.5 Landscape and Open Space

Design

The Landscape design is intended to compliment and reinforce the overall theme and character for the community based on the open space framework provided in the conceptual Development Plan. The proposed palette of trees, shrubs, ground covers and lawn areas will be utilized to establish a strong link to the overall community design intent.

The landscape plant materials and planting design within all public rights-of-ways will meet the standards set forth by the City of Avondale's Zoning Ordinance, City of Avondale Street Tree Master Plan, and ADWR plant requirements.



Neighborhood landscape character



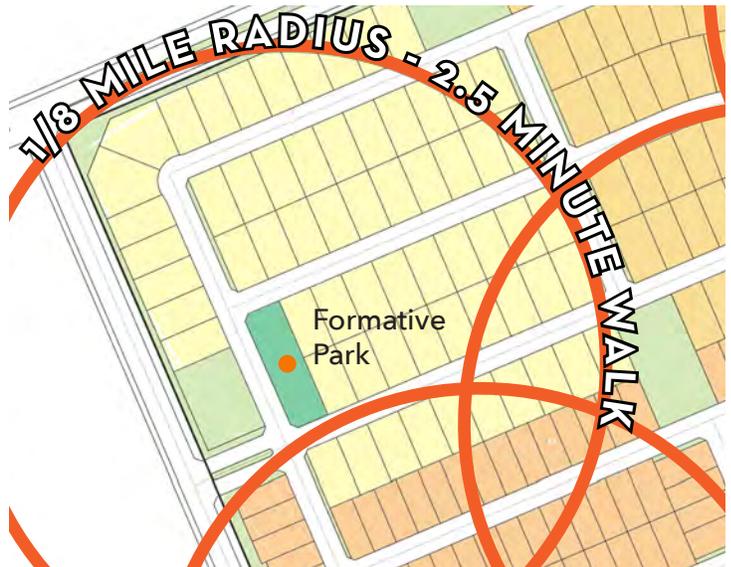
Early map of Phoenix with reference to the "Garden City"

Design Criteria:

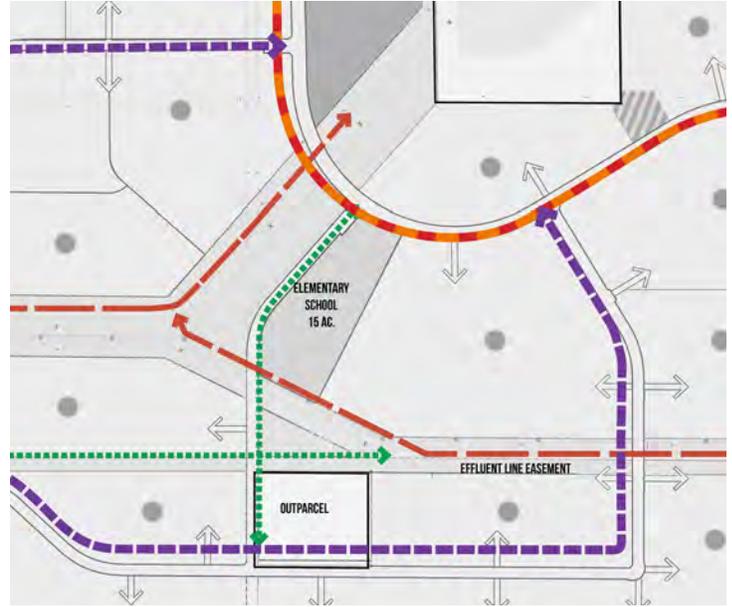
1. Parks, street ROWs, trail easements and community entry areas will set the stage for landscape treatment associated with the overall theme and character.
2. Parks and open spaces should be designed with all future residents in mind and include program elements for a wide variety of users and age groups.



3. Formative parks shall be strategically located within each grouping of neighborhoods for convenient access.



4. Overall trail network should provide connectivity throughout the community as well as linkage to the regional trail network.



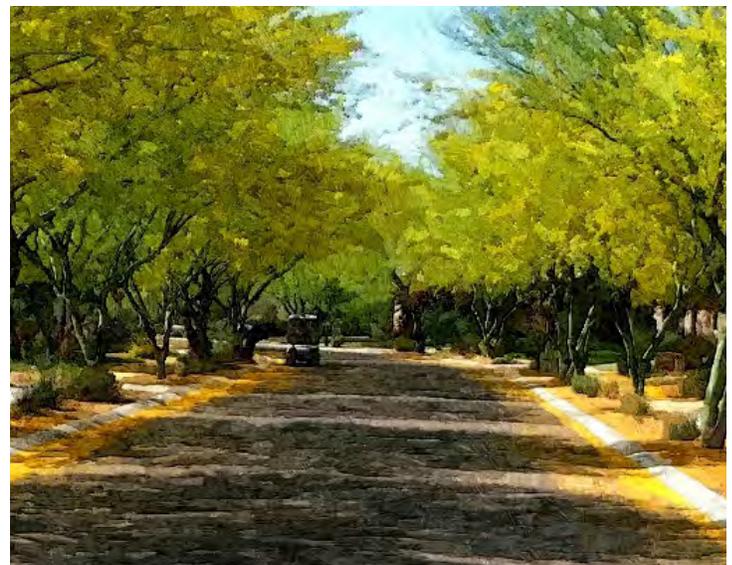
5. Street tree planting to be organized in an overall structure that incorporates a visual sense of hierarchy, connectivity and variety based on a diverse palette of tree species.

6. Great care should be given to the location of trees and shrubs associated with view triangles at critical corners and intersections not to impede view sheds.



7. A high degree of sensitivity relative to the provision of shade shall be include when considering tree species selections.

8. All plant material shall be low water use materials.



9. No off-site detention shall be included in any formative parks.
10. Detention basins are encouraged to provide additional passive open space with appropriate access and grass areas when possible.
11. All common landscape areas and tracts shall be owned and maintained by the HOA.



12. Backflow Prevention Devices shall be screened and carefully placed throughout the development.



13. Home builder front yard and rear yard landscapes shall be to the degree and character expressed for the overall community. Lawn areas shall be limited to community areas as well as homeowner private back yards. No synthetic turf shall be allowed in front yards of private residents.



Additional Key Considerations

- Formative Parks should be located and designed for social gathering. They should be located to maximize their connectivity to the adjoining homes and neighborhoods.
- Design open space and parks as an integral part of the neighborhood fabric.
- Provide a network of convenient pedestrian walkways to connect homes, blocks, and neighborhoods to each other as well as parks, trails and open space.
- Formative parks should be located so that lots are generally no more than two to three blocks from a park.
- Formative Parks should be visible from adjacent roads with clear visibility into the open space.
- Parks should be designed and oriented to take advantage of distant views when possible.
- All parks should provide an abundance of shade by incorporating shade structures and canopy trees.
- Provide safe, efficient and convenient parking (and associated circulation) for Neighborhood Parks.
- Park features, such as bike racks, gates, benches, shade structures should include an artistic flair to reinforce the special nature of the community.
- Provide at least one bicycle parking “stand” for each neighborhood park.
- Utility equipment in parks should be screened from public view with plants and or low walls.
- When possible, utility equipment in parks should be painted dark, natural colors to minimize visual impact.



Plant palette

The following Plant List provides a landscape palette to compliment the South Avondale Character Area as defined in the COA Street Tree Master Plan. The Character Area draws inspiration from the nearby Sierra Estrella Mountains, the Gila and Agua Fria Rivers.

Trees:

	Botanical Name	Common Name	Size (H x W)	Street ROW			Landscape Setback/ Buffer	Parks	Open Space/ Detention Basin
				Primary	Secondary	Tertiary			
Evergreen Trees	Acacia aneura	Mulga	15'x15'		X	X	X	X	X
	Acacia farnesiana	Sweet Acacia	25' x 15'		X	X	X	X	X
	Acacia salicina	Willow Acacia	40' x 20'	X	X		X	X	X
	Acacia saligna	Coolibah/ Weeping Wattle	25' x 25'	X	X		X	X	X
	Acacia stenophylla	Shoestring Acacia	40' x 30'	X	X		X	X	X
	Caesalpinia cacalaco 'Smoothie'	Cascalote, Smoothie	18' x 18'		X	X	X	X	
	Dalbergia sissoo	Indian rosewood	50' x 50'				X	X	X
	Ebenopsis ebano	Texas Ebony	30' x 20'		X	X	X	X	
	Eucalyptus microtheca 'Blue Ghost'	Coolibah Tree 'Blue Ghost'	40' x 30'				X	X	X
	Eucalyptus papuana 'Ghost Gum'	Coolibah Tree, 'Ghost Gum'	40' x 25'				X	X	X
	Olea europeaea 'Swan Hill'	Olive Tree, Swan Hill (Fruitless)	35' x 25'		X	X	X	X	
	Olea europeaea 'Wilsonii'	Olive Tree, Wilson's (Fruitless)	30' x 25'		X	X	X	X	
	Olneya tesota	Ironwood	35' x 30'		X	X	X	X	X
	Pinus eldarica	Afghan Pine	50' x 20'				X	X	X
	Pinus halepensis	Aleppo Pine	50' x 20'				X	X	X
Quercus virginiana 'Cathedral'	Southern Live Oak	50' x 50'	X	X		X	X		
Quercus virginiana 'Heritage'	Southern Live Oak, Heritage	50' x 50'	X	X		X	X		
Sophora secundiflora	Texas Mountain Laurel	25' x 15'		X	X	X	X		
Deciduous Trees	x Chitalpa tashkentensis	Chitalpa Tree	30' x 30'		X	X	X	X	X
	Chilopsis linearis 'Art's Seedless'	Desert Willow, Seedless	25' x 25'		X	X	X	X	X
	Fraxinus p. lanceolata. x Fraxinus v. glabra 'Fan-West'	Fan West Ash	35' x 35'	X	X		X	X	
	Fraxinus velutina "Fan tex"	Fan Tex Ash	35' x 35'		X	X	X	X	
	Parkinsonia microphylla	Foothills Palo Verde	30' x 30'		X	X	X	X	
	Parkinsonia praecox	Palo Brea	30' x 30'		X	X	X	X	X
	Parkinsonia florida	Blue Palo Verde	30' x 30'		X	X	X	X	X
	Parkinsonia x 'Desert Museum'	Palo Verde 'Desert Museum'	30' x 30'		X	X	X	X	
	Parkinsonia x 'Sonoran Emerald'	Palo Verde 'Sonoran Emerald'	30' x 30'		X	X	X	X	
	Pistacia x 'Red Push'	Red Push Pistache	40' x 40'	X	X		X	X	
	Prosopis chilensis	Chilean Mesquite	40' x 40'		X	X	X	X	X
	Prosopis glandulosa 'AZT'	Mesquite, AZT Podless Hybrid	40' x 40'		X	X	X	X	X
	Prosopis x hybrid "Thornless"	Thornless Mesquite	30' x 30'		X	X	X	X	X
	Prunus cerasifera	Flowering Plum, Purple Leaf	20' x 20'		X	X	X	X	
	Ulmus parvifolia spp.	Chinese Elm	40' x 40'	X	X		X	X	
Vitex agnus-castus	Chaste Tree	20' x 20'		X	X	X	X		
Palms	Arecastrum romanzoffianum	Pindo Palm	30' x 20'				X	X	
	Bismarckia nobilis	Bismark Palm	40'x 20'				X	X	
	Brahea armata	Mexican Palm	30' x 20'				X	X	
	Phoenix canariensis	Canary Island Date Palm	60' x 40'	X			X	X	
	Phoenix dactylifera	Date Palm	50' x 30'	X			X	X	
	Washingtonia robusta	Mexican Fan Palm	100' x 15'				X	X	

Shrubs:

	Botanical Name	Common Name	Size (H x W)
Semi-Evergreen Shrubs	Caesalpinia gilliesii	Yellow Bird of Paradise	6' x 5'
	Calliandra californica	Baja Fairy Duster	5' x 5'
	Calliandra eriophylla	Fairy Duster	3' x 4'
	Cordia parvifolia	Little Leaf Cordia	6' x 6'
	Dalea frutescens	Black Indigo Bush	3' x 4'
	Hamelia patens	Firecracker Bush	4' x 4'
	Justicia californica	Chuparosa	4' x 4'
	Tecoma stans	Yellow Bells	10' x 8'
Evergreen Shrubs	Botanical Name	Common Name	Size (H x W)
	Baccharis x 'Starn' Thompson	Desert Broom, Starn	3' x 4'
	Bougainvillea spp	Bougainvillea	8'x8'
	Callistemon citrinus 'Little John'	Little John Bottlebrush	3' x 5'
	Cordia boissieri	Texas Olive	10' x 10'
	Dalea pulchra	Indigo Bush	4' x 5'
	Dodonaea viscosa	Hopseed Bush	10' x 8'
	Dodonaea viscosa 'Purpurea'	Purple Hopseed Bush	12' x 6'
	Duranta erecta	Golden Dewdrop	6' x 10'
	Duranta repens	Skyflower	8' x 10'
	Eremophila hygrophana 'Blue Bells'	Blue Bells Emu Bush	3' x 3'
	Eremophila maculata 'Valentine'	Valentine Bush	4' x 5'
	Eremophila racemosa	Easter Egg Emu Bush	6' x 6'
	Hibiscus	Hibiscus	5-8' x 4-5'
	Justicia spicigera	Firecracker Plant	3-4' x 5-6'
	Lantana camara	Bush Lantana	3' x 3'
	Lantana x 'New Gold'	New Gold Lantana	3' x 3'
	Larrea tridentata	Creosote Bush	6' x 6'
	Leucophyllum candidum	Violet Silver Leaf Sage	5' x 5'
	Leucophyllum candidum 'Silver Cloud' or	Silver Cloud Sage	4' x 4'
	Leucophyllum frutescens	Texas Ranger	8' x 8'
	Leucophyllum frutescens ' Compacta'	Texas Ranger, Compact variety	5' x 5'
	Leucophyllum laevigatum	Chihuahuan Sage	5' x 6'
	Leucophyllum x 'Heavenly Cloud'	Heavenly Cloud Sage	6'-8' x 6'
	Leucophyllum zygophyllum 'Cimarron'	Cimarron or Blue Ranger Sage	3' x 3'
	Myrtus communis 'Compacta'	Dwarf Myrtle	5' x 4'
	Nerium oleander 'Petite Pink"	Dwarf Pink Oleander	6' x 4'
	Rosa spp.	Rose Shrubs	4' x 2-3'
	Rosmarinus officinalis	Upright Rosemary	4' x 3'
	Ruellia brittoniana	Purple Ruellia or Mexican Petunia	3-6' x 3-6'
	Ruellia peninsularis	Desert Ruellia/Baja Ruellia	4' x 4'
	Russelia equisetiformis	Coral Fountain Grass	4' x 4' - 6'
Senna artemisioides	Silver Cassia	6' x 6'	
Simmondsia chinensis	Jojoba	10' x 10'	
Sophora secundiflora	Texas Mountain Laurel	20' x 15'	
Tecoma spp.	Yellow Bells	10'x 10'	
Tecomaria capensis	Cape Honeysuckle	6' x 5'	
Teucrium fruticans	Bush or Shrubby Germander	4' x 5'	



Cacti and Succulents:

	Botanical Name	Common Name	Size (H x W)
Cacti and Succulents	Agave americana varieties	Century Plant	3' x 5'
	Agave desmettiana	Smooth Agave	3' x 4'
	Agave geminiflora	Twin-flowered Agave	1' x 3'
	Agave parryi huachucensis	Parry's Agave	2' x 3'
	Agave victoriae-reginae	Queen Victoria Agave	1' x 2'
	Agave vilmoriniana	Octopus Agave	4' x 5'
	Agave weberii	Weber's Agave	5' x 6'
	Aloe 'Blue Elf'	Blue Elf Aloe	1' x 2'
	Asclepias subulata	Desert Milkweed	4' x 4'
	Cereus hildmanianus	Hildmann's Cereus	10' x 4'
	Dasyliirion acrotrichum or texanum	Desert Spoon (Green Foliage)	4' x 4'
	Dasyliirion wheeleri	Desert Spoon (Silver Foliage)	5' x 5'
	Echinocactus grusonii	Golden Barrel	1' x 1'
	Euphorbia antisyphilitica	Candelilla	3' x 2'
	Euphorbia rigida	Gopher Plant	3' x 4'
	Euphorbia tirucalli	Firesticks	5' x 4'
	Ferocactus spp.	Barrel Cactus species	3' x 1'
	Hesperaloe funifera	Giant Hesperaloe	5' x 5'
	Hesperaloe parviflora 'brakelight'	Brakelight Red Yucca	2' x 4'
	Nolina microcarpa	Bear Grass	2' x 2'
	Opuntia bailaris	Beavertail Prickly Pear	6' x 4'
	Opuntia ficus-indica	Indian Fig	5' x 6'
	Opuntia santa-rita	Purple Prickly Pear / Santa Rita Prick	4' x 6'
	Pachycereus marginatus	Mexican Fencepost	1' x 12'
	Pachycereus schottii f. monstrosus	Totem Pole	3' x 3'
	Pedilanthus macrocarpus	Lady Slipper	3' x 3'
	Yucca baccata	Banana Yucca	4' x 5'
	Yucca elata	Soaptree Yucca	10' x 10'
	Yucca gloriosa	Spanish Dagger	3' x 3'
	Yucca pallida	Paleleaf Yucca	2' x 3'
	Yucca rigida	Blue Yucca	6' x 6'



All trees and plant material used within public rights-of-way shall conform to the most current version of the Arizona Department of Water Resources ("ADWR") "Drought Tolerant/Low Water Use Plant List" for the Phoenix Active Management Area (AMA)

Ground Covers and Vines:

	Botanical Name	Common Name	Size (H x W)
Ground Covers	Acacia redolens	Desert Carpet	2' x 10'
	Convolvulus cneorum	Bush Morning Glory	2' x 3'
	Convolvulus mauritanicus	Ground Morning Glory	1' x 3'
	Dalea greggii	Trailing Indigo Bush	2' x 6'
	Delosperma cooperi	Purple Trailing Ice Plant	3" x 2'
	Eremophila glabra 'Mingenew Gold'	Outback Sunrise Emu Bush	1' x 6-10'
	Gazania rigens	Trailing Gazania	8" x 1.5'
	Lantana montevidensis	Purple Trailing Lantana	1' x 4'
	Malephora crocea	Gray Ice Plant/Copper Ice Plant	6" x 6'
	Malephora luteola	Yellow Ice Plant	6" x 4'
	Oenothera caespitosa	Tufted Evening Primrose	1' x 2'
	Rosmarinus officinalis 'Huntington Carpet'	Huntington Carpet Rosemary	2' x 8'
	Rosmarinus officinalis 'Prostratus'	Trailing Rosemary	3' x 6'
	Ruellia brittoniana 'Katie'	Katie Ruellia	1' x 1.5'
	Teucrium chamaedrys 'Prostratum'	Creeping Germander	6" x 3'
	Wedelia trilobata	Yellow Dot	1.5' x 6'
Vines	Antigonon leptopus	Queen's Wreath	15' x 15'
	Bougainvillea spp	Bougainvillea	15' x 15'
	Campsis radicans	Trumpet Creeper	5' x 20'
	Hardenbergia violacea	Australian Lilac Vine	15' x 10'
	Jasminum mesnyi	Primrose Jasmine see also 'Gold Tip'	10' x 6'
	Pandorea jasminoides	Bower Vine	20' x 20'
	Passiflora foetida v. longipedunculata	Baja Passion Vine	10' x 10'
	Passiflora incarnata	Purple Passion Vine	20' x 25'
	Podranea ricasoliana	Pink Trumpet Vine	20' x 10'
	Rosa banksiae	Lady Banks Rose	20' x 15'
	Solanum jasminoides	Climbing Potato Vine	20' x 10'
	Trachelospermum jasminoides	Star Jasmine	6' x 20'



Front Yard Landscaping

The Developer understands the importance of each front yard landscape relative to the overall street scene. Trees should be placed to maximize visual impact and shrubs should be organized to give a natural character. Front yard landscapes should incorporate boulders, earth berms, decomposed granite (desert pavement), shrubs, groundcovers, and trees.

Low voltage, shielded landscape up-lighting can also enrich the character of each home's front yard landscaping.



Required Front Yard Trees

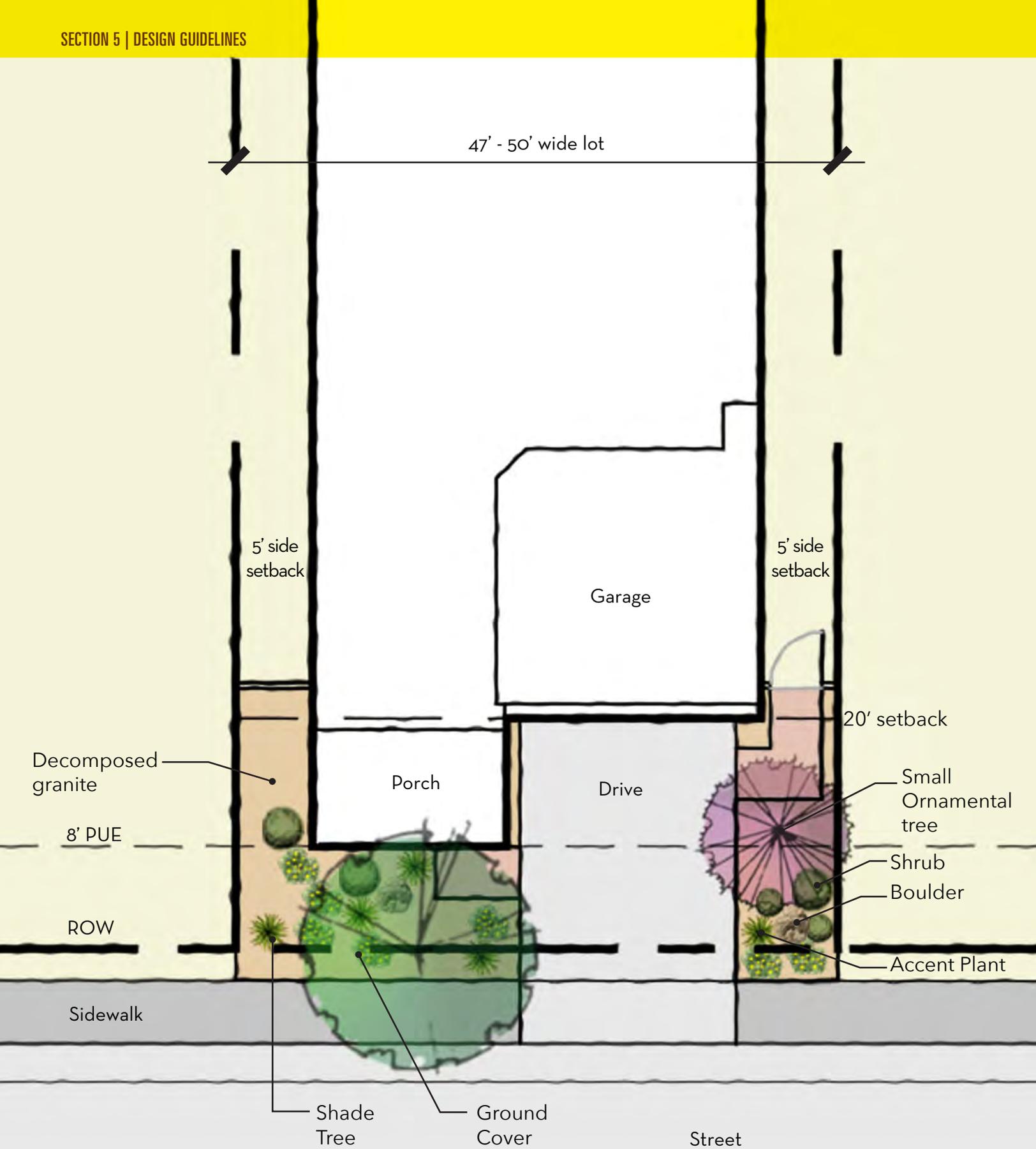
Specific quantity requirements for front yard trees have been established to create a consistent and desirable streetscape image within single-family neighborhoods. Requirements apply to all street frontage conditions on residential lots.

All front yard trees shall be planted a minimum of 3 feet from driveways, fences, walls, property lines, homes and sidewalks.

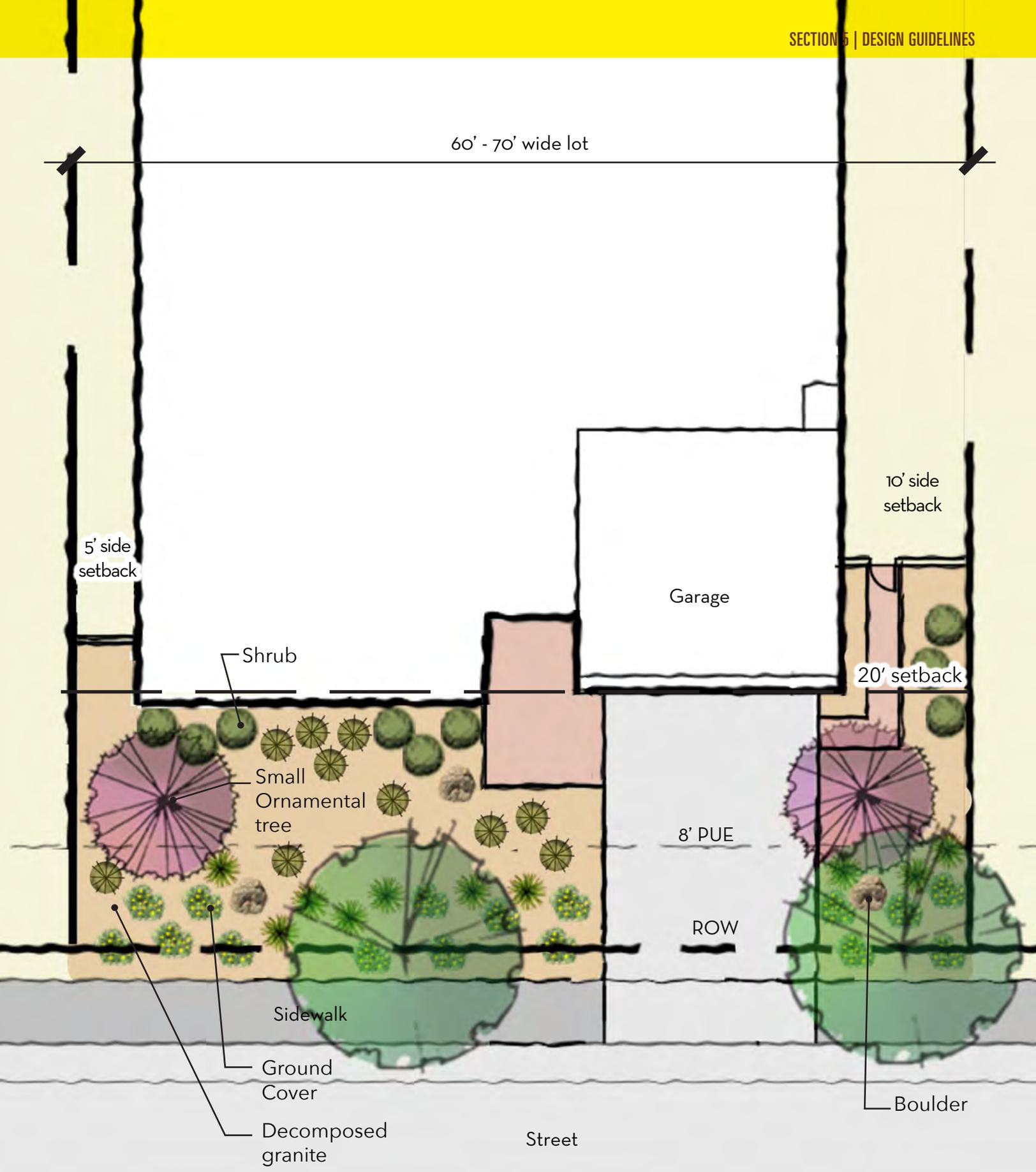
To ensure similar density and coverage of plant material for all home sites, the requirements for shrubs, ground covers, and accent plants are based on the actual area (square feet) of the front yard excluding any sidewalks, driveways, patios, or other hardscape elements. Natural turf grass and synthetic turf will not be allowed in front yards.

Front yards (and visible side yards of all corner lots) are subject to the following minimum planting requirements:

Plant Type	Min. Size	# Required	
		Lots 45 - 50-foot	Lots 60 - 70-foot
Street Tree	24-inch box	1	2
Small Ornamental Tree	15-inch Gal.	1	2
Shrubs	5 Gal.	1/100 sf	1/50 sf
Ground Covers	1 Gal.	1/65 sf	1/65 sf
Accent Plant	5 Gal.	1/100 sf	1/100 sf
Granite Boulders	3'x3'x2'	2	3



Conceptual Plan depicting the front yard landscaping for 47-foot - 50-foot wide lots. Street side condition with attached sidewalk.



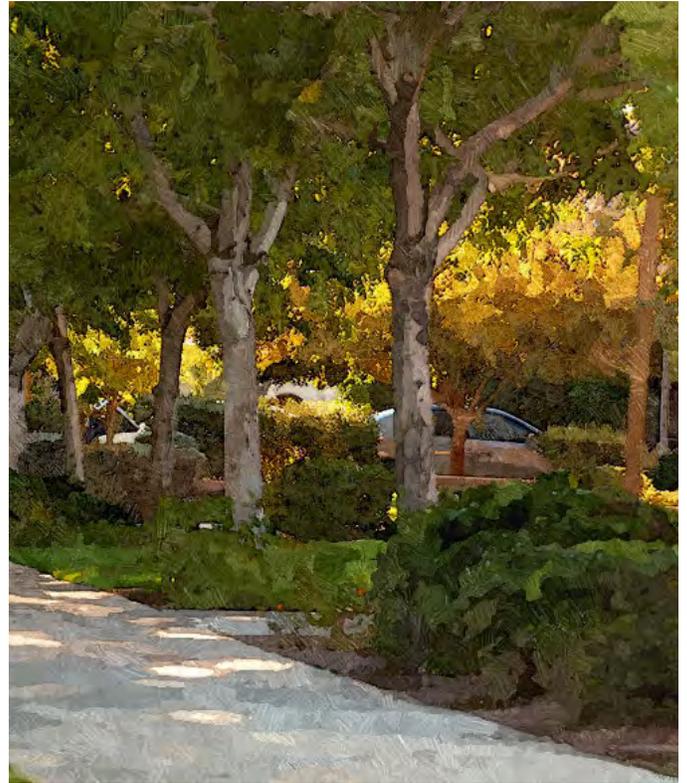
Conceptual Plan depicting the front yard landscaping for 60-foot - 70-foot wide lots. Street side condition with attached sidewalk.

Landscape Design Strategy

Based on coordination with staff, the Applicant has prepared the accompanying examples of qualitative measures that are typically utilized to review and evaluate landscape design submittals. Our intent is to create and submit a qualitative landscape design package at the time of Phase One Pre-Plat that is not solely reliant on typical plant counts (quantities) or minimum spacing (numerical measurements), but rather, one that is based on creating a beautiful and appropriate landscape treatment throughout the Lakin project.

Based on the actual preparation of the plan at the time of Pre-Plat, we will also provide an “after the fact” accounting of actual plant counts and numerical measurements based on what we believe to be the best landscape design for the property (both short-term and long-term) so that the appropriate City review can be conducted based on the Phase One implementation.

This design and implementation (and associated post design quantitative recording) for Phase One shall act as the standard for landscape design (both qualitative and quantitative) for all remaining phases.



LANDSCAPE REQUIREMENTS (For Arterials and Collectors)

1. Street Right-of-Way Landscaping: an average of X tree for every X feet of street frontage.

- Trees shall be located in a manner that provides maximum shade for pedestrians.
- Tree and shrub spacing (and arrangement) shall be per the Landscape Architect's recommendations.
- Trees must be planted in areas 5 feet and greater width when such areas are located (i) between the back of curb and edge of a sidewalk or (ii) between the edge of sidewalk and the right-of-way line. Shrubs and groundcovers shall be planted in areas 3 feet and greater in width.
- Street trees per COA - Street Tree Master Plan and Plant List included here in.
- Street tree Mix Percentages:
 - o Primary Tree: X%
 - o Secondary Tree: X%
 - o Tertiary Tree: X%
- Per COA - Street Tree Master Plan, Trees may be located within 2 feet of either edge of the public utility easements, leaving a minimum 5 foot clear zone within the easement.
- Shrub planting shall be up to X shrubs per every X feet of street frontage depending on the tree canopy layout and design.

Note: The highlighted areas, indicating numerical values to be "inserted" once the Phase One preferred and agreed upon landscape design treatment is completed at the Pre-Plat.

2. Landscape Setback Landscaping requirement: an average of X tree for every X feet of street frontage and a minimum of X% vegetative cover of the street frontage area.

- Tree spacing shall be per the Landscape Architect's recommendations.
- Tree and shrub spacing (and arrangement) shall be located in a manner that provides maximum shade for pedestrians.
- Street trees per COA - Street Tree Master Plan and Plant List included here in.
- Street tree Mix Percentages:
 - o Primary Tree: X%
 - o Secondary Tree: X%
 - o Tertiary Tree: X%

Note: The highlighted areas, indicating numerical values to be "inserted" once the Phase One preferred and agreed upon landscape design treatment is completed at the Pre-Plat.

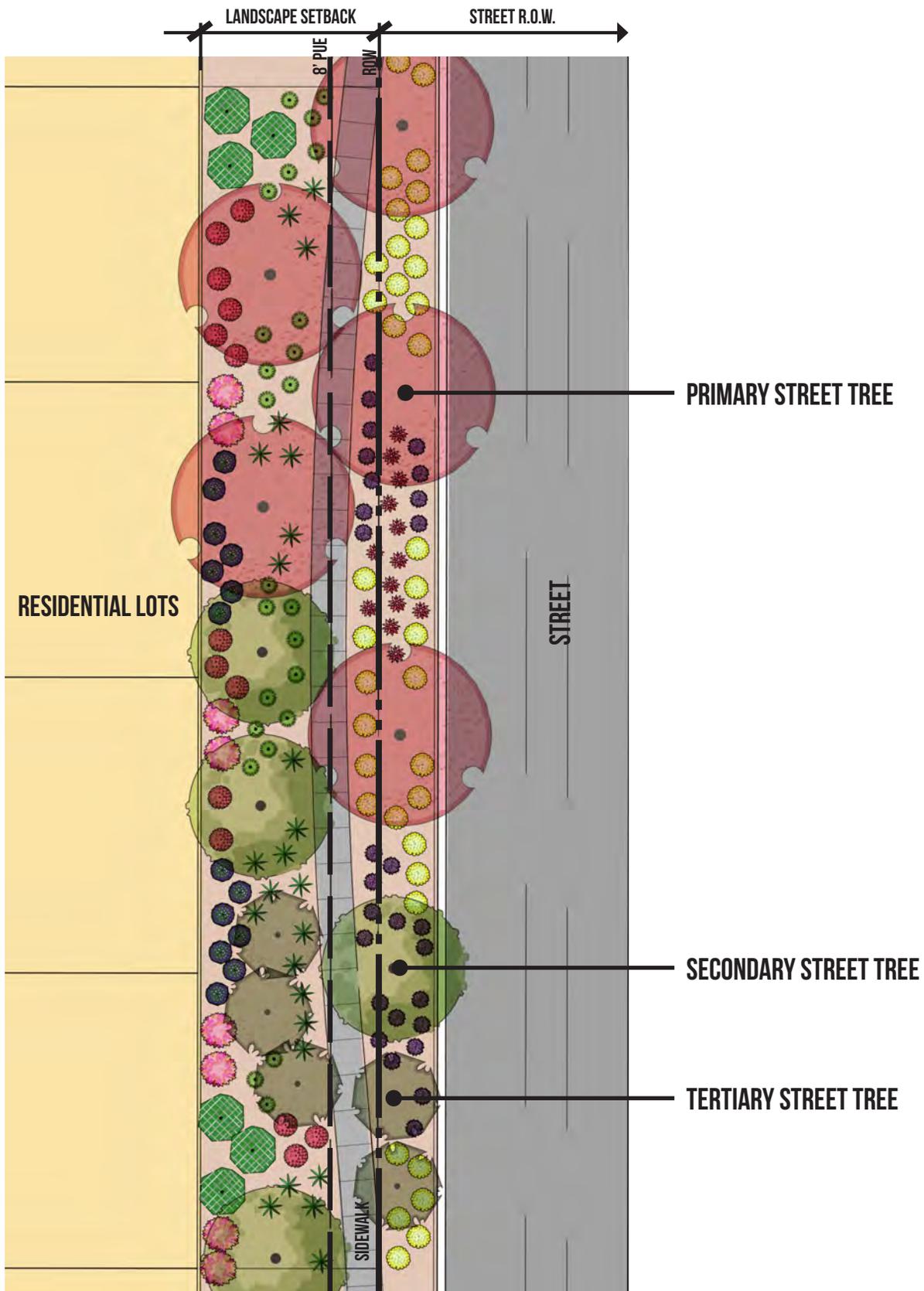
- Per COA - Street Tree Master Plan, Trees may be located within 2 feet of either edge of the public utility easements, leaving a minimum 5 foot clear zone within the easement.
- Shrub planting shall be up to X shrubs per every X feet of street frontage depending on the tree canopy layout and design.
- Required shrub can be counted towards vegetative ground cover.
- Vegetative cover includes groundcovers, shrubs and turf.
- Vegetative cover shall be calculated by using mature plant canopy width or spread.

3. Median Landscaping Requirement: an average of X tree and five X shrubs for every X lineal feet of median.

- Tree and shrub spacing (and arrangement) shall be per the Landscape Architect's recommendations.
- Street tree Mix Percentages:
 - o Primary Tree: X%
 - o Secondary Tree: X%
 - o Tertiary Tree: X%
- Median plantings may include cacti and succulents as accent features covering no more than 15 percent of the total landscape area.
- Shrub and accent plants shall be less than 4 feet in width and 3 feet in height at their mature growth.

Note: The highlighted areas, indicating numerical values to be "inserted" once the Phase One preferred and agreed upon landscape design treatment is completed at the Pre-Plat.

CONCEPTUAL LANDSCAPE DESIGN



5.6 Commercial

The Commercial development within the Lakin Property will follow the City's Commercial Design Guidelines.

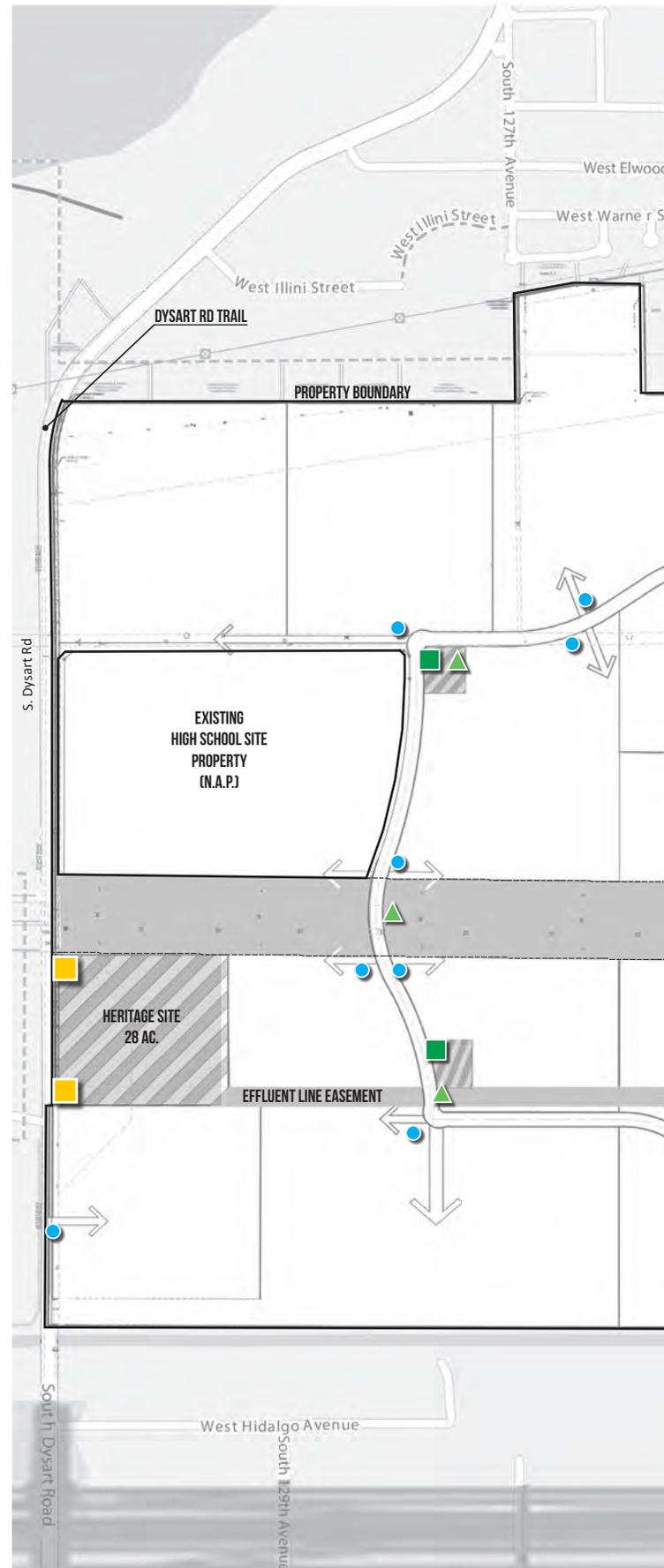
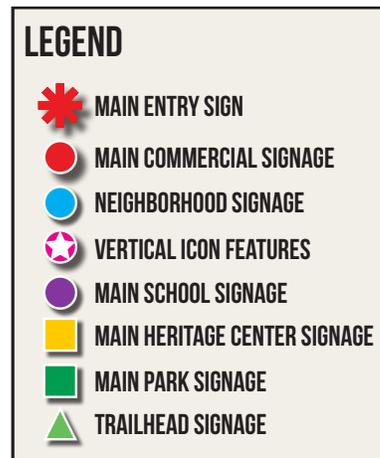




6. SIGNAGE AND WAYFINDING PROGRAM

The accompanying exhibit provides a visual reference to the overarching strategy for key signage and monumentation for the project. Because of the special nature of the project in terms of its overall size and magnitude, a detailed project sign package will be prepared for the community that helps to establish an overall unique and special character. As the project moves into a more detailed design phase, a comprehensive signage design package will be submitted to the City that includes signage size, scale and quantity. The adjacent illustration provides an overall framework for the future detailed information to be coordinated with the City.

Main entry monuments and associated signage will be located at the intersection of Avondale Boulevard and Broadway Road. A secondary main entry sign will be located in the vicinity of the El Mirage Road as it enters the Property to the north. The associated entry monumentation will likely be vertical in nature and carefully integrated community signage in a contemporary manner. Associated tasteful low level up lighting will be incorporated to ensure visual clarity during evening hours. Neighborhood entry monumentation and signage will be considered at all major entry points that transition from the Parkway and Greenway. Neighborhood identification and signage will be done in a tasteful manner and more subtle than traditional suburban models.



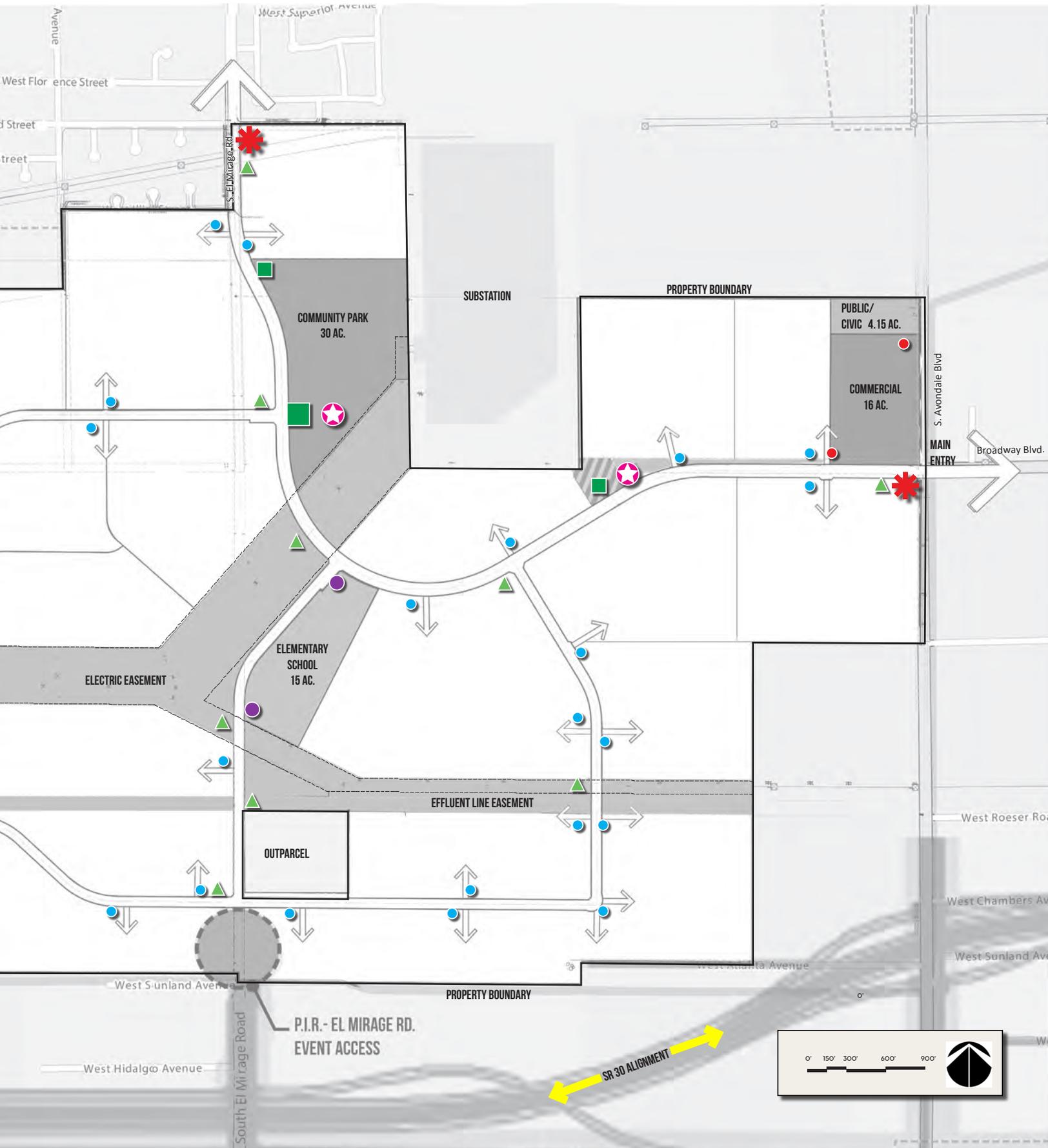


Exhibit #17 - Signage Plan

Additional Key Considerations

- Signage design shall include distinctive elements of the general design theme of the overall community.
- Each home is required to provide address identification.
- Address identification numbers shall have a distinctive visual “separation” between the numbers and the background wall or plate.
- Address numbers may not exceed 8 inches in height and should be of simple font and style so as not to contrast with the home design. Background plates should also be simple in shape and look and be in proportion to the applied numbers.
- Address identification should not be placed on freestanding sign plates.
- Parkway and Greenway street signs are expected to be custom designed, while local neighborhood street signs are expected to the City’s standard.
- Main entry signage should be designed within the context of the overall community identification and surrounding landscape in and around the “entry areas to the property. This signage may be vertical and or horizontal in nature and integrated on both sides of the roadway.
- Neighborhood signage should be more subtle in nature and less oriented towards a specific builder and more oriented to the grouping of neighborhoods. This may or may not include associated signage and identity features associated with the Formative Parks. These signs should typically be integrated into the entry landscape (vertically and or horizontally).

All site signage will be incorporated with a high degree of design and execution. Brookfield at the time of Pre-Plat will provide a detailed site signage package based on the yet to be finalized overall Community theme.

MAIN ENTRY SIGN CHARACTER



VERTICAL ICON CHARACTER



PARK SIGNAGE





NEIGHBORHOOD SIGNAGE



TRAILHEAD SIGNAGE



7. CONCLUSION

Hand Crafted Communities

A common theme that runs strong in every Brookfield community is the commitment to create great places to live. Brookfield understands that every opportunity for creating a new community is unique and requires the highest level of commitment- from the initial vision to the construction of every new home. This long-term commitment reinforces the nature of creating “hand crafted communities”. No cookie- cutter approach or one size fits all attitude, Brookfield is highly focused on the special nature of the City of Avondale, the Lakin Property and the great opportunity to create a one-of-a-kind master plan community that will be the showcase of the West Valley.

Based on our team’s extensive experience with numerous award winning projects, this PAD has been organized to ensure the development tools put forth will allow both short term and long term success. We look forward to a long and successful collaboration with the City and community.



Monument Hill looking west over the Gila River

BROOKFIELD RESIDENTIAL

14646 NORTH KIERLAND BLVD.

SUITE 270

SCOTTSDALE, AZ 85254

T. (602) 903-7493

www.brookfieldresidential.com

Prepared by:



SWABACK PARTNERS, PLLC

7550 EAST McDONALD DRIVE SCOTTSDALE, ARIZONA 85250

T. (480) 367-2100

WWW.SWABACKPARTNERS.COM